



HISTORIC-CULTURAL MONUMENT NOMINATION FORM

1. PROPERTY IDENTIFICATION

Proposed Monument Name: Morrison Hotel		Original historic name <input type="checkbox"/>	
Other Associated Names:			
Street Address: 1246 S. Hope St.		Zip: 90015	Council District: 14
Range of Addresses on Property: 1246-1248 S. Hope St.; 433-435 W. 8th Blvd.		Community Name: Central City	
Assessor Parcel Number: 5139022006	Tract: TR 17683	Block: None	Lot: 6
Identification cont'd:			
Proposed Monument Property Type:	<input checked="" type="radio"/> Building	<input type="radio"/> Structure	<input type="radio"/> Object
		<input type="radio"/> Site/Open Space	<input type="radio"/> Natural Feature
Describe any additional resources located on the property to be included in the nomination, here:			

2. CONSTRUCTION HISTORY & CURRENT STATUS

Year built: 1913-1914	<input checked="" type="radio"/> Factual <input type="radio"/> Estimated	Threatened? Private Development <i>with proposed partial demolition</i> <input checked="" type="checkbox"/>
Architect/Designer: Morgan, Walls & Morgan	Contractor: F.O. Engstrum	
Original Use: Hotel and retail	Present Use: Vacant	
Is the Proposed Monument on its Original Site?	<input checked="" type="radio"/> Yes <input type="radio"/> No (explain in section 7) <input type="radio"/> Unknown (explain in section 7)	

3. STYLE & MATERIALS

Architectural Style: Vernacular, Early 20th Century Commercial		Stories: 4	Plan Shape: Rectangular
FEATURE	PRIMARY	SECONDARY	
CONSTRUCTION	Type: Brick <input checked="" type="checkbox"/>	Type: Concrete poured/precast + steel <input checked="" type="checkbox"/>	
CLADDING	Material: Brick <input checked="" type="checkbox"/>	Material: Stone, cast + galvanized iron <input checked="" type="checkbox"/>	
ROOF	Type: Flat <input checked="" type="checkbox"/>	Type: Select	
	Material: Select Composition <input checked="" type="checkbox"/>	Material: Select	
WINDOWS	Type: Double-hung <input checked="" type="checkbox"/>	Type: Single-hung <input checked="" type="checkbox"/>	
	Material: Wood <input checked="" type="checkbox"/>	Material: Wood <input checked="" type="checkbox"/>	
ENTRY	Style: Recessed <input checked="" type="checkbox"/>	Style: Off-center <input checked="" type="checkbox"/>	
DOOR	Type: Select Unknown (boarded up) <input checked="" type="checkbox"/>	Type: Select	



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4. ALTERATION HISTORY

List date and write a brief description of any major alterations or additions. This section may also be completed on a separate document. Include copies of permits in the nomination packet. Make sure to list any major alterations for which there are no permits, as well.

	The alteration history is included on pages 4-5 of the Written Statement.	

5. EXISTING HISTORIC RESOURCE IDENTIFICATION (if known)

<input type="checkbox"/>	Listed in the National Register of Historic Places	
<input type="checkbox"/>	Listed in the California Register of Historical Resources	
<input type="checkbox"/>	Formally determined eligible for the National and/or California Registers	
<input type="checkbox"/>	Located in an Historic Preservation Overlay Zone (HPOZ)	<input type="radio"/> Contributing feature <input type="radio"/> Non-contributing feature
<input checked="" type="checkbox"/>	Determined eligible for national, state, or local landmark status by an historic resources survey(s)	Survey Name(s): SurveyLA
Other historical or cultural resource designations:		

6. APPLICABLE HISTORIC-CULTURAL MONUMENT CRITERIA

The proposed monument exemplifies the following Cultural Heritage Ordinance Criteria (Section 22.171.7):

<input checked="" type="checkbox"/>	1. Is identified with important events of national, state, or local history, or exemplifies significant contributions to the broad cultural, economic or social history of the nation, state, city or community.	
<input checked="" type="checkbox"/>	2. Is associated with the lives of historic personages important to national, state, city, or local history.	
<input checked="" type="checkbox"/>	3. Embodies the distinctive characteristics of a style, type, period, or method of construction; or represents a notable work of a master designer, builder, or architect whose individual genius influenced his or her age.	



HISTORIC-CULTURAL MONUMENT NOMINATION FORM

7. WRITTEN STATEMENTS

This section allows you to discuss at length the significance of the proposed monument and why it should be designated an Historic-Cultural Monument. Type your response on separate documents and attach them to this form.

A. Proposed Monument Description - Describe the proposed monument's physical characteristics and relationship to its surrounding environment. Expand on sections 2 and 3 with a more detailed description of the site. Expand on section 4 and discuss the construction/alteration history in detail if that is necessary to explain the proposed monument's current form. Identify and describe any character-defining elements, structures, interior spaces, or landscape features.

B. Statement of Significance - Address the proposed monument's historic, cultural, and/or architectural significance by discussing how it satisfies the HCM criteria you selected in Section 6. You must support your argument with substantial evidence and analysis. The Statement of Significance is your main argument for designation so it is important to substantiate any claims you make with supporting documentation and research.

8. CONTACT INFORMATION

Applicant

Name: Jonathan M. Eisenberg, Deputy General Counsel Litigation		Company: Aids Healthcare Foundation	
Street Address: 6255 Sunset Blvd., 21st Floor		City: Los Angeles	State: CA
Zip: 90028	Phone Number: 323-855-0764	Email: jonathan.eisenberg@ahf.org	

Property Owner

Is the owner in support of the nomination?

☐ Yes

☐ No

☒ Unknown

Name:		Company: Relevant Group	
Street Address: 1605 N. Cahuenga Blvd.		City: Los Angeles	State: CA
Zip: 90028	Phone Number: 323 466 1400	Email:	

Nomination Preparer/Applicant's Representative

Name: Emma Rault		Company:	
Street Address: PO Box 412		City: San Pedro	State: CA
Zip: 90733	Phone Number: 213 322 4973	Email: emmarault@gmail.com	



HISTORIC-CULTURAL MONUMENT NOMINATION FORM

9. SUBMITTAL

When you have completed preparing your nomination, compile all materials in the order specified below. Although the entire packet must not exceed 100 pages, you may send additional material on a CD or flash drive.

APPLICATION CHECKLIST

- | | |
|---|---|
| 1. ✓ Nomination Form | 5. ✓ Copies of Primary/Secondary Documentation |
| 2. ✓ Written Statements A and B | 6. ✓ Copies of Building Permits for Major Alterations
(include first construction permits) |
| 3. ✓ Bibliography | 7. ✓ Additional, Contemporary Photos |
| 4. ✓ Two Primary Photos of Exterior/Main Facade
(8x10, the main photo of the proposed monument. Also
email a digital copy of the main photo to:
planning.ohr@lacity.org) | 8. ✓ Historical Photos |
| | 9. ✓ Zimas Parcel Report for all Nominated Parcels
(including map) |

10. RELEASE

Please read each statement and check the corresponding boxes to indicate that you agree with the statement, then sign below in the provided space. Either the applicant or preparer may sign.	
✓	I acknowledge that all documents submitted will become public records under the California Public Records Act, and understand that the documents will be made available upon request to members of the public for inspection and copying.
✓	I acknowledge that all photographs and images submitted as part of this application will become the property of the City of Los Angeles, and understand that permission is granted for use of the photographs and images by the City without any expectation of compensation.
✓	I acknowledge that I have the right to submit or have obtained the appropriate permission to submit all information contained in this application.

Name: Emma Rault Date: 5/4/22 Signature: [Signature]

Mail your Historic-Cultural Monument Submittal to the Office of Historic Resources.

Office of Historic Resources
Department of City Planning
221 N. Figueroa St., Ste. 1350
Los Angeles, CA 90012

Phone: 213-874-3679
Website: preservation.lacity.org

7. WRITTEN STATEMENTS

7A. PROPOSED MONUMENT DESCRIPTION

The Morrison Hotel is located at 1246–1248 S. Hope Street/433–435 W. Pico Boulevard in the City of Los Angeles, California. It consists of a rectangular-shaped corner lot .33 acres in size situated in a commercial neighborhood. To the northeast, it is adjacent to another commercial parcel and to the east it is adjacent to a vacant commercial parcel used as a parking lot. The property is comprised of one rectangular building with an E-shaped plan above the ground floor. It runs nearly to the property line on every elevation except the north elevation, where there is a narrow cement walkway.

The main pedestrian entrance to the building is asymmetrically located toward the north end of the primary/west facade on Hope Street. The property has no vehicular entrance.

The four-story (plus basement), 49,668 square-foot building is a Commercial Vernacular-style Building with Beaux Art Classicism detailing. It has retail storefronts on the ground floor and hotel rooms on the upper three floors. The building is of brick, steel and concrete construction with a flat parapet roof. The primary and secondary facades are composed of white glazed face brick, whereas the remaining facades are standard brick.

The main entrance door to the hotel is surrounded by an original, cast stone segmental archway, with classical patterned detailing lining the jamb and a galvanized iron header with a protruding segmental arch resting on three brackets. The recessed segmental arched opening is boarded up with a metal security door at center. The vestibule clad in orange, black and green tiles appears to be intact, as per the 2021 Historic Resource Assessment produced as part of the Draft EIR for a proposed project on the site.¹

To the right of the door is a wood and plexiglass sign reading “1246 MORRISON HOTEL.” To the north of the entrance is a rectangular aluminum and glass fixed-pane window with the red and white-painted words “MORRISON HOTEL” flanked by two vertical fixed-pane windows with a rectangular galvanized iron-framed fixed-pane window above it.

Immediately to the south of the entrance is a concrete-block filled wood-and plate-glass storefront with asymmetrically located wood-cased entrance door and a metal security gate. To the immediate south of that storefront is a smaller, partially boarded-up, symmetrical wood-and-plate glass storefront with metal security gate. At the far southern end of the primary facade is another boarded up wood-and plate-glass storefront with a metal security gate. Above each storefront is a horizontal, galvanized iron frame that used to hold solar-prism glass, but is now covered over.

The upper floors of the primary facade are delineated by the presence of a long partially white and partially green horizontal galvanized iron band of a Greek meandros pattern. Above this are three floors of pairs of wood frame, double-hung windows (a) and smaller, recessed, single

¹ Chattel Inc., *Historic Resource Assessment and Conformance Review: 1246–1248 South Hope Street, Los Angeles, California*, 2017, pp. 68–70.

windows with brick sills and wood surrounds (b). Many of the smaller windows have been filled in with concrete block. At each floor level, there are 9 pairs of double-hung windows (a), 5 single recessed windows (b), and 2 single wood-frame double-hung windows (c): one at the north end of the facade and one just south of the center of the building behind the fire escape. The windows form a horizontal pattern of “c b a a b a a b a c a b a a b a.”

Between the second and third and third and fourth floors, underneath each of the nine pairs of wood-frame, double-hung windows, is a decorative brick pattern of white glazed bricks, glazed or unglazed tan/brown bricks and green ceramic diamond-shaped tiles.² Each vertical grouping of the nine double-hung windows is surrounded by three rows of raked header bricks, distinguishing them from the running-bond stretcher brick pattern on the rest of the facade.

At the very top of the building is a green galvanized iron band in an egg-and-dart pattern. Directly below the egg-and-dart pattern is a band of decorative brickwork with vertical and slanted bricks punctuated by diamond-shaped, green ceramic tiles.

The main facade also features a large mechanical duct and a fire escape just to the south of the center of this facade. A high metal security gate is also located at the street level, blocking the concrete walkway at the north end of the building.

The secondary/south facade facing Pico Boulevard has five separate wood-and plate-glass storefronts with symmetrically located entrance doors on four of the storefronts and one asymmetrically located wood cased entrance door at the southwest corner of the building. The middle three storefronts have double doors. Each entry door originally consisted of a rectangular, fixed plate glass pane in wood door surround and a fixed-pane transom window above the door. However, all storefronts are currently boarded up with metal security gates. Above the storefronts is a horizontal, galvanized-iron frame that used to hold solar-prism glass, but has now been covered over by wood or plaster.

The upper floors of the secondary/south facade are delineated by the presence of a long green horizontal galvanized iron band of a Greek meandros pattern. Above this are three floors of a) pairs of wood frame, double-hung windows and b) single, double-hung windows, some with wooden surrounds and some aluminum. At each floor level there are six pairs of double-hung wooden windows and two single, double-hung windows. They form a horizontal pattern of “a b a a a b a.”

Between the second and third and third and fourth floors, underneath each of the windows is a decorative brick pattern of white glazed bricks, unglazed tan/brown bricks and green ceramic diamond-shaped tiles. Each vertical grouping of windows is surrounded by three rows of raked header bricks, distinguishing them from the running-bond stretcher brick pattern on the rest of the facade.

At the very top of the building is a green galvanized iron band in an egg-and-dart pattern. Directly below the egg-and-dart pattern is a band of decorative brickwork with vertical and slanted bricks punctuated by diamond-shaped, green ceramic tiles.

² Farley Tobin, emails to author, April 22 and 2 May 2022.

Tie rods for seismic stabilization dot the primary and secondary facades. A metal fire escape exists on the east end of the secondary facade.

The tertiary/east facade of the building is painted brick with two light wells above the ground floor. Within each light well, which is unpainted brick, there are an undetermined number of segmental arch window openings with single, double-hung wood-frame windows and some single, fixed-pane wood-frame windows.

The north facade is barely visible from the street. It appears to be of unpainted brick with an undetermined number and configuration of windows and a fire escape.

Interior features were inaccessible during site visit.

Character-Defining Features:

- Simple, rectangular form
- E-shaped plan above ground floor, with light wells visible from rear elevation
- Flat roof with raised parapet
- Brick exterior wall surfaces with white glazed face brick on the primary and secondary facades
- Running bond brickwork with decorative raked, header brick details around window bays to emphasize verticality of design
- Tripartite design with visual separation between base, shaft and crown
- Galvanized iron bands in egg-and-dart and Greek meandros patterns
- Decorative face brick work and green diamond ceramic tiles
- First-story storefronts with transom window above
- Cast stone and galvanized iron archway with recessed entrance
- Tile-clad vestibule, as seen in 2020 photos in the Historic Resources Assessment produced as part of the Draft EIR for a proposed project on the site
- Large fixed-pane window with “MORRISON HOTEL” painted lettering
- Pairs of wood double-hung sash upper story windows
- Individual wood, double-hung sash upper story windows
- Segmental arch window openings on rear elevation
- Metal fire escapes

Building Chronology/Alteration History

Date	Description	Permit No.
12/11/1913	Construction of hotel with 6 stores	1913LA15893
11/9/1914	Add 2 x 4 metal lath and plaster partition (15 ft high, 18 ft long) to divide store, with two 2'8" x 7' door openings	1914LA21746
7/16/1915	Cut entrance and place fire door in east wall approximately 50 feet northerly from north line of Pico St. Opening to be 7' x 7', two 10-inch-wide I-beams supporting brickwork. Alteration of storefront on Hope St. elevation	1915LA11040
1/11/1917	Put partition across both stores and put in private office for Pacific Rubber Co. tire store at 433–435 W. Pico St.	1917LA00193
6/19/1920	Add wood and glass partitions for offices at 437 W. Pico St.	1920LA08853
6/10/1926	Cut 84" x 44" side entrance door through plate glass window, remove glass, lay terrazzo floor on 1 ½" cement base, with total thickness of 12" on 1 x 4 for drugstore at 441 W. Pico Blvd.	1926LA17317
1/16/1936	Add bathrooms (consisting of toilet and shower) to six rooms by utilizing portions of existing public toilet rooms, add plaster partitions, cut through doors in existing walls, add electric lights and a ventilating forced draft system capable of changing air in each bath every 5 minutes	1936LA01208
3/30/1936	Add metal laths; plaster ceiling and walls of elevator shaft	1936LA07252
4/1/1936	Re-cover two awnings for store at 1248 S. Hope St.	1936LA07360
10/20/1939	New composition roof	1939LA41391
6/6/1941	Re-cover entrance canopy and reset standards	1941LA13876
11/15/1948	Install two flat metal face signs (no neon) for drugstore at 441 W. Pico	1948LA29178
10/9/1951	Alter parapet wall along Hope & Pico St. ³	1951LA17401
9/1/1954	Construct 2 partitions to enclose kitchen of restaurant at 441 W. Pico Blvd.	1954LA92907
9/16/1954	Install new men's lavatory in restaurant at 441 W. Pico Blvd.	1954LA97357
9/29/1954	Remove 16 lin.' of bulkhead and glass and replace with flagstone veneer and glass for store/offices at 441 W. Pico Blvd.	1954LA00059

³ A 1949 city ordinance required property owners to remove or reinforce parapets that could fall on pedestrians during an earthquake. (Michel Bruneau, 'Performance of masonry structures during the 1994 Northridge (Los Angeles) earthquake,' *Canadian Journal of Civil Engineering*, no. 22, April 1995, pp. 378-402)

7/29/1957	Remove non-bearing partitions and install new storefront at 439–441 W. Pico Blvd.	1957LA78349
12/27/1957	Install wall sign at 433–441 W. Pico Blvd.	1957LA89722
6/14/1961	Install new storefront and change window to door opening	1961LA90766
6/22/1964	Repair damaged brick pier	1964LA69210
2/4/1974	Comply with fire safety ordinance	1974LA84544
1/24/1977	Install new non-bearing wall and door in lobby	1977LA38789
11/16/1978	Repair fire damaged roof rafters, floor joists, ceiling joist, wall etc.	1978LA73355
5/5/1980	Interior non-bearing partitions for restaurant at 441 W. Pico Blvd.	1980LA02628
10/7/1981	Install wall sign for store at 433 W. Pico Blvd.	1981LA32277
4/10/1987	Comply with Dorothy Mae Ordinance	1987LA62539
2/18/1988	Full compliance with Division 88. Alt. I, rating class IIIa	1988LA89529
10/31/1989	Full compliance with Division 88, RGA method	1989HO02696
4/30/1991	Replace 5 windows with same size windows on Pico Blvd. elevation	1991LA74195
7/12/1990	Tear off and replace roof	1990LA59513
8/14/2019	Temporary 7' x 7' sign on alley wall, to be removed 30 days after installation	19048-10000-02020

Integrity of Property

The property at 1246 S. Hope St. retains a high degree of integrity. For a property to be eligible for designation, it needs to retain integrity of Location, Design, Setting, Materials, Workmanship, Feeling, and Association. The subject property fulfills all of these criteria.

Access to the property was not available for this analysis. Observations are the result of observation of the building from the public right of way.⁴

1. Location

The building at 1246 S. Hope St. remains in its original location. Therefore it retains integrity of location.

2. Design

The subject property retains the majority of its character-defining features, including its rectangular four-story form and E-shaped plan above the ground floor, flat roof with raised parapet, primary and secondary facades clad in white glazed brick, header brick detailing around the window bays to emphasize verticality, galvanized iron bands in egg-and-dart and Greek meandros patterns, tripartite base-shaft-crown design, decorative spandrel panels with white and tan/brown bricks and green diamond ceramic tiles, first-story storefronts with transom windows above, cast stone and galvanized iron archway with recessed entry, metal fire escapes, paired and

⁴ The 2021 Historic Resource Assessment and Conformance Review cites some additional original fabric which is currently not visible.

single double-hung upper story windows and segmental arch window openings on the rear elevation, as well as all of its original window openings.

The most significant major alteration is the reconfiguration of the storefronts, removal of the cornice, and reduction of the parapet, which was required by city ordinance in 1949. Storefront alterations are not uncommon for a building of this age and changing use. The prism-glass transom openings and upper-level window openings remain intact. Therefore, the subject property retains integrity of design.

3. Setting

The subject property was built in 1913/1914 as part of Downtown Los Angeles' expansion and in an effort to address skyrocketing migration to Los Angeles. Over the 1910s, this part of downtown became known as the city's automobile row, and a variety of—predominantly low-rise—commercial and industrial structures sprang up around the subject property. While recent decades have seen new residential development, many of these nearby commercial properties are still extant, including the buildings at 1240 S. Hope St., 1220 S. Hope St., 1210–1214 S. Hope St. and 1200–1208 S. Hope St. commissioned by the Ponet family as part of their contribution to the Auto Row area. The adjacent parking lot is also original to the setting. Therefore, the subject property retains integrity of setting.

4. Materials

The subject property retains a significant amount of its historic materials, including glazed brick cladding and galvanized iron decorative bands on the primary and secondary elevations, ceramic tile ornamentation on the facades and tile cladding in the vestibule, storefronts with galvanized-iron framed transom windows, cast stone and galvanized iron archway, metal fire escapes, and wood single and double-hung sash windows.

There have been some alterations over time: the solar-prism glass in the transom windows has been covered over or removed, some upper-level windows and one storefront have been filled in with concrete block, the ground floor storefronts have been reconfigured, and the marble bulkhead beneath some or all of the storefronts was removed. Despite these alterations, the subject property retains sufficient integrity of materials to convey its historic significance.

5. Workmanship

Designed by leading architectural firm Morgan, Walls & Morgan and built by prominent contractor F.O. Engstrum, craftsmanship is evident in the glazed brick facades with ornamental brick and tile detailing, galvanized-iron egg-and-dart and meandros pattern bands, and ornamental archway with tile-clad vestibule. Therefore, the subject property retains integrity of workmanship.

6. Feeling

As a high-integrity 1910s hotel with most of its original design intact, the subject property conveys its significance as an early 20th-century, Commercial Vernacular hotel with Beaux Arts detailing in downtown Los Angeles. As a result, 1246 S. Hope St. retains integrity of feeling.

7. Association

As an early 20th century hotel in the Auto Row section of downtown Los Angeles, the subject property narrates the story of the city's explosive growth and commercial development, with burgeoning industries such as automobile manufacturing/retailing and a concomitant increase in high-density residential architecture. Its design conveys its significance as an excellent example of a Commercial Vernacular commercial building with Beaux Arts detailing designed by Morgan, Walls & Morgan, one of Los Angeles' most formative architectural firms. Therefore, the subject property retains integrity of association.

Historical Analysis

In 2016, SurveyLA found the subject property eligible for local designation as an individual resource under Criteria 5S3 and state-wide designation under Criteria A/1/1 & C/3/3. Under Criteria A and C, SurveyLA found the building to be an excellent example of a 1910s hotel in Downtown Los Angeles, exhibiting essential characteristics of the property type and reflecting early patterns of commercial development in Los Angeles' central business district. SurveyLA also points out that the building was prominently featured on the cover of the Doors' 1970 album *Morrison Hotel*.⁵

⁵ SurveyLA, *Central City: Individual Resources* – 09/02/16, 2016, p. 69.

7B. STATEMENT OF SIGNIFICANCE

1246 S. Hope St. is significant under **Criterion 1** for its association with the social, cultural and commercial history of Los Angeles, and the South Park section of Downtown LA in particular. The subject property is a rare, extant example of a 1910s downtown hotel, reflecting early patterns of commercial development in the central business district. Built to accommodate a new influx of middle-class migrants to Los Angeles, the Morrison reflects the city's social and commercial history and the tradition of residency hotels as a fixture in American urban life. It is also associated with the development of Auto Row and Los Angeles' burgeoning car culture.

The property is also significant under **Criterion 2** for its association with early LA pioneer and developer Victor Ponet (1836–1914) and the influential Los Angeles rock band the Doors. For the cover of their album *Morrison Hotel* (Elektra, 1970) the band was photographed by legendary music photographer Henry Diltz inside the lobby, with the hand-painted reverse glass MORRISON HOTEL sign framing the band members.

Finally, the property is significant under **Criterion 3** as the notable work of a master architect. It was designed by master architects Morgan, Walls & Morgan, who played a leading role in shaping the early Los Angeles built environment. As one of the earliest and most prominent architectural firms, they were estimated at one point to be responsible for one-third of the architectural work in the city. The subject property is a rare example of the hotel property type by this firm and a noteworthy aesthetic outlier in their body of work.

The subject property meets the registration requirements outlined for:

- SurveyLA, *Los Angeles Citywide Historic Context Statement, Context: Commercial Development, 1859–1980; Theme: Hotels, 1870–1980* (Subtheme: Downtown Commercial Hotels, 1895–1930)
- SurveyLA, *Los Angeles Citywide Historic Context Statement, Context: Architecture and Engineering; Theme: Beaux Art Classicism, Neoclassical, and Italian Renaissance Revival Architecture, 1895–1940* (Subtheme: Beaux Arts Classicism, 1895–1940)

Historic Context

The following provides contextual information essential to understanding the significance of 1246 S. Hope St. It includes a brief history of 1910s Los Angeles, the South Park section of Downtown Los Angeles, the role of hotels as a commercial property type in Los Angeles, the social and commercial significance of the Morrison Hotel as both temporary and long-term housing, the property's association with Victor Ponet and the Doors, and its place within Morgan, Walls & Morgan's body of work.

1. Is identified with important events of national, state, or local history, or exemplifies significant contributions to the broad cultural, economic, or social history of the nation, state, city, or community.

Historic Context of 1910s Los Angeles

After a number of economic setbacks—the 1888 real-estate bust, the Panics of 1893 and 1896

and the 1907 Knickerbocker Crisis—the 1910s were a time of great technological and infrastructure expansion that would allow Los Angeles to grow into a fully-fledged metropolis over the decades that followed. The first film studio had opened in 1909 in Edendale (present-day Echo Park); the studio system grew rapidly in the 1910s as Los Angeles became the center of the American film industry.⁶ The first International Air Meet on Dominguez Hill in Rancho San Pedro in 1910 cemented LA’s reputation as a forward-thinking city. The Museum of Science, History and Art opened in 1912, and the Los Angeles County Library system was established.⁷ The Port of Los Angeles was completed that same year; in 1913, the Los Angeles Aqueduct was finished, delivering water to Los Angeles from Owens Valley.⁸

Another major advance in technology and infrastructure was the rise of the automobile. The development of the Ford Model T made car ownership affordable for the masses, and Los Angeles led the nation. By 1915, Los Angeles County had more than 55,000 registered automobiles among a population of approximately 750,000, a 25% increase over the previous year.⁹ The Automobile Club of Southern California, founded in Los Angeles in 1900, went from 2,500 members in 1910 to 30,320 in 1920.¹⁰

In 1913 Earle C. Anthony, who went on to be one of the most prominent automobile dealers in the city, opened LA’s first full-service gas station at Washington Boulevard & Grand Avenue, selling 200 gallons of gas in just two hours.¹¹ The first parking lot opened in downtown Los Angeles in 1917 on the northwest corner of 4th and Olive Streets.¹²

A seminal moment was the 1910 automobile show, held at Fiesta Park—the land that several years later would become home to the Morrison Hotel. An impressive \$30,000 was spent to put the Auto Show together; Fiesta Park was covered with a giant canvas big top, and the site was transformed into a forest with real redwood trees.¹³ (One of the organizers was the aforementioned Earle C. Anthony, who had visited the New York Auto Show at Madison Square Garden the previous month.¹⁴)

Another significant development was the oil boom, which reached a fever pitch between 1917

⁶ Tim Dirks, ‘The History of Film: The Pre-1920s – Early Cinematic Origins and the Infancy of Film, Part 4,’ *filmsite*, <https://www.filmsite.org/pre20sintro4.html> (accessed 20 April 2022).

⁷ Nathan Marsak, email to author, 26 April 2022.

⁸ Donna Littlejohn, ‘San Pedro breakwater a testament to 100-year-old engineering feat,’ *Daily Breeze*, 27 December 2016; Louis Sahagun, ‘There It Is – Take It’: A century of marvel and controversy,’ *Los Angeles Times*, 28 October 2013.

⁹ ‘L.A. County Leads World in Auto Ownership,’ *Touring Topics*, vol. 8, no. 3, April 1916, pp. 12-13.

¹⁰ SurveyLA, *Los Angeles Citywide Historic Context Statement, Context: Commercial Development, 1850–1980; Theme: Commercial Development and the Automobile, 1910–1970*, 2016, p. 5.

¹¹ Cecilia Rasmussen, ‘Youth’s Electric Carriage Led to an Empire,’ *Los Angeles Times*, 21 June 1998.

¹² Jack Smith, ‘The Father of Los Angeles’ Parking Lots,’ *Los Angeles Times*, 23 August 1988.

¹³ ‘1910 Auto Show,’ *The Daily Mirror: Los Angeles History*, 20 February 2010, <https://latimesblogs.latimes.com/thedailymirror/2010/02/1910-auto-show.html> (accessed 20 April 2022); ‘White Lights of Auto Show Dimmed and Big Tent Empty,’ *Los Angeles Times*, 27 February 1910.

¹⁴ ‘Anthony in the East. Manager of Western Motor Car Company Visits Auto Show and Then Goes to Factories,’ *Los Angeles Times*, 16 January 1910; ‘Auto Emporium Just as the Lights Were Thrown on Last Night,’ *Los Angeles Times*, 20 February 1910.

and 1925.¹⁵ The new job opportunities in the automobile, motion picture and oil industries spurred large-scale migration to Los Angeles, which experienced explosive population growth. The city's population doubled in the 1910s from 319,000 to just under 600,000, and then again in the 1920s to more than 1.2 million.¹⁶ The need to house these people resulted in the proliferation of higher-density housing types such as apartment buildings and hotels.

Historic Context of South Park/Auto Row

Where in the late 19th century the location of today's civic center (between the Los Angeles Plaza and Second Street) had emerged as the city's main central business district, in the early 20th century it was pulled south and west into what is now called the Historic Core.¹⁷ Scores of new buildings were erected, from banks and financial institutions along Spring Street (the Wall Street of the West) to hotels, offices, department stores and smaller retail outlets, theaters and concert halls, restaurants and taverns. Many buildings combined retail on the ground floor with offices or dwellings on the upper floors.¹⁸

At the turn of the 20th century, the area southwest of the Historic Core which we now call South Park was characterized by single-family homes, as can be seen in Figures 1 and 2 in Appendix 1. In the late 1900s and early 1910s, it became known as the location of Los Angeles' 'automobile row' or 'gasoline row,' a cluster of showrooms and repair facilities. The initial nexus was around S. Main & E. 12th Streets, but it was soon pulled further west, toward Hope, Grand and Olive.¹⁹ Hope and Olive were considered particularly suitable as they were wide streets with no streetcar tracks to interfere with automobile traffic.²⁰ By 1917, *The Vehicle Monthly* identifies Figueroa Street as the focal point of Auto Row.²¹

Developer Victor Ponet responded to this transformation of the neighborhood by beginning to develop the lot the Ponets had purchased in 1880, first by commissioning the Ponet Square Hotel in 1906 and then the Morrison Hotel in 1913.²² (The Morrison was designed without a name, but was referred to as such by 1915. The reason for the name is unclear.²³) The Morrison catered specifically to Auto Row. Ads for the hotel mention its proximity to automobile row, while a 1921 ad for the Morrison Cafe on the ground floor advertises an 'AUTO MEN'S SPECIAL': a

¹⁵ Rachel Schnalzer, "'A parallel Hollywood story': How LA's oil boom shaped the city we know today," *Los Angeles Times*, 8 December 2021.

¹⁶ Robert M. Fogelson, *The Fragmented Metropolis: Los Angeles, 1850–1930*, Los Angeles: University of California Press, 1993, p. 78.

¹⁷ Curtis C. Roseman et al., *The Historic Core of Los Angeles (Images of America)*, Charleston, SC: Arcadia Press, 2004, pp. 7 and 33.

¹⁸ SurveyLA, *Historic Resources Survey Report: Central City Community Plan Area*, 2016, p. 19.

¹⁹ SurveyLA, *Los Angeles Citywide Historic Context Statement, Context: Commercial Development, 1850-1980; Theme: Commercial Development and the Automobile, 1910–1970*, 2016, p. 11; 'Changes in Gasoline Row,' *Los Angeles Times*, 3 March 1907; 'Soon to Open. Largest Garage in the West Is Nearly Completed—Housewarming to Mark Event.,' *Los Angeles Times*, 5 January 1908; 'Many New Garages on Olive Street,' *Los Angeles Herald*, 2 August 1908.

²⁰ L. George Thompson, 'Gasoline Row Will Migrate,' *Los Angeles Herald*, 12 July 1908.

²¹ 'Motor News of Los Angeles,' *The Vehicle Monthly*, vol. 53, no. 5, August 1917, p. 83.

²² 'Property Transfers,' *Los Angeles Evening Express*, 23 November 1880; 'Victor Ponet Building,' *Los Angeles Times*, 1 April 1906; 'Plan New Buildings. Four-Story Hotel to Be Erected on Pico Street—Work in the Architects' Offices,' *Los Angeles Times*, 24 August 1913.

²³ *Los Angeles City Directory 1915*, Los Angeles: Los Angeles Directory Company, p. 755. The architectural drawings call it a 'Four-Story Hotel Building for Victor Ponet.'

45-cent lunch ‘with real home-made pastry for the auto and accessory people.’²⁴ The censuses for 1920 through 1950 consistently show a high proportion of automotive workers (see Appendix 2).²⁵

The Morrison block became a linchpin of the Auto Row area, as the Ponet family went on to develop many of the other parcels for commercial use. In 1918, they commissioned a building at 1240 S. Hope St; ‘one of the finest structures on the automobile row,’ it housed an electric and battery service station operated by the Electric Equipment Company.²⁶ That same year, they built a one-story paint shop at 1220 S. Hope St and a garage for Davidson, House & Meyer at 1210–1214 S. Hope St, followed by a Chevrolet showroom at 1200–1208 S. Hope in 1919/1920 and a service station at 415–417 W. Pico in 1919.²⁷ With the exception of the structure at 415–417 W. Pico, these buildings are still extant.

In the 1960s, dealerships started to move away from Auto Row.²⁸ Today, South Park still contains several early examples of car showrooms as well as various early examples of multi-family residential development.²⁹ From 1985 onwards, the Community Redevelopment Agency funded the rehabilitation of several historic apartment buildings and SRO residential hotels, including the Young Apartments (LA HCM No. 317), Villa Metropolitano, Hope Manor and Villa Esperanza.³⁰ A considerable amount of mid- and high-rise residential development has cropped up in the South Park area since the early 2000s, following the opening of the Staples Center (now called the Crypto.com Arena) adjacent to the Los Angeles Convention Center.³¹

²⁴ Advertisements, Morrison Hotel, *Los Angeles Times*, 2 October 1930 and 14 January 1931; advertisement, Morrison Cafe, *Los Angeles Herald*, 22 July 1921.

²⁵ 1920 United States Federal Census, Los Angeles, California (database online), *FamilySearch*, 2019, <https://familysearch.org/ark:/61903/3:1:33SQ-GR69-D8Z?cc=1488411&wc=QZJG-6J1%3A1036469601%2C1037520201%2C1037735601%2C1589335217>; 1930 United States Federal Census, Los Angeles, California (database online), *FamilySearch*, 2015, <https://www.familysearch.org/ark:/61903/3:1:33SQ-GR4J-STN?wc=QZFS-SH1%3A648807101%2C648807102%2C648807103%2C1589286407&cc=1810731>; 1940 United States Federal Census, Los Angeles, California (database online), *Ancestry.com*, 2012, <https://www.ancestry.com/imageviewer/collections/2442/images/m-t0627-00390-00612?ssrc=&backlabel=Return>; 1950 United States Federal Census, Los Angeles, California (database online), 1950 Census, 2022, <https://1950census.archives.gov/search/?state=CA&county=Los%20Angeles&ed=66-1931#.Ym45tRJmXaU.link> (accessed 20 April 2022).

²⁶ ‘Commence Work on Service Building,’ *Los Angeles Times*, 31 March 1918; ‘Spreading Out. New Home Being Moved Into by Local Experts,’ *Los Angeles Times*, 12 May 1918.

²⁷ City of Los Angeles, Department of Building and Safety, Building Permit #1918LA03219, dated 20 June 1918; City of Los Angeles, Department of Building and Safety, Building Permit #1919LA06985, dated 25 August 1918; advertisement, ‘A New Building for the Wall Street Garage...,’ *Los Angeles Times*, 21 July 1918; advertisement, Cole Motor Car Company, *Los Angeles Times*, 23 November 1919; City of Los Angeles, Department of Building and Safety, Building Permit #1919LA05920, dated 25 July 1919; ‘New Headquarters for the Chevrolet in Los Angeles,’ *Los Angeles Times*, 4 April 1920; Department of Building and Safety, Building Permit #1919LA05473, dated 12 July 1919.

²⁸ Darryl Holter, ‘One Man’s Dream: Nick Shammas’ Vision for the Figueroa Corridor,’ *Darryl Holter / CEO Shammas Group*, <http://www.darrylholter-articles.com/darrylholter-and-nickshammas.html> (accessed 20 April 2022).

²⁹ SurveyLA, *Historic Resources Survey Report: Central City Community Plan Area*, 2016, pp. 9, 31, 36, 44.

³⁰ CRA/LA, *Central Business District Redevelopment Period: Five-Year Implementation Plan FY2000–FY2004*, City of Los Angeles, 2000, p. 6.

³¹ SurveyLA, *Historic Resources Survey Report: Central City Community Plan Area*, 2016, p. 31.

Commercial Development: Hotels

As a rare and early example of a hotel in the South Park section of Downtown Los Angeles, the subject property narrates the story of urbanization, mass migration and the residential housing boom in early 20th-century LA, the development of South Park/Auto Row in the 1910s, and the history of residential hotels as a fixture in Los Angeles urban life.

Hotels first became established as a part of urban life in Los Angeles between the 1870s and the mid-1890s in connection with the advent of transcontinental railroad passenger service and the subsequent real-estate boom.³² The boom was followed by the bust in 1888 and the Panics of 1893 and 1896; when building picked up again in the late 1890s, the advent of more advanced technology resulted in larger and more sophisticated hotels, with steel and concrete construction and innovations such as elevators, electricity, telephones, central heat, private baths and chilled running water. It was during this second period, between 1895 and 1930, that hotels became a cornerstone of the city's social and economic life. This period also saw the emergence of specific districts within Downtown Los Angeles, with the area around 5th and Main Streets becoming the hotel district.³³

From the earliest days, hotels accommodated both permanent and transient guests for all or part of the year.³⁴ The absence of private kitchens distinguishes hotels from apartment buildings, though before World War I the terms were often used interchangeably.³⁵

The 1914 Baist map clearly shows a high concentration of hotels in the Historic Core, but south of 8th Street they become progressively more sparse (see Figures 3 and 5 in Appendix 1). There were only eight other hotels in the South Park area: the Empire Hotel at 9th & Figueroa (1909/1910), the Ivins Hotel at 948–950 S. Figueroa (1910), Hotel Germain at 953 S. Hope (1908/1909), Hotel Loma and Hotel Alco at 10th & Figueroa (1913), the previously mentioned Hotel Ponet Square (1906), Hotel Watson (1914) and the Hotel Figueroa at Figueroa & 16th (1892).³⁶ By 1915, several more had appeared: the Beresford at 11th & Hope, Hotel Oviatt at Pico & Flower, Casa Loma at 14th & Hill, Hotel Beverly at 1330 S. Olive and Hotel Corola at Pico & Hill (later the Portsmouth Hotel). Of all these, only the latter three are still extant; as such, the subject property is a rare and early example of this type of commercial building in this district.

A Respectable, Middle-Class Hotel

The subject property has qualities of both the ‘downtown commercial hotel’ and the ‘downtown working-class hotel’; however, it is ultimately more in line with the former category. Downtown working-class hotels typically used masonry bearing wall and wood frame construction; they

³² SurveyLA, *Los Angeles Citywide Historic Context Statement, Context: Commercial Development, 1859-1980; Theme: Hotels, 1870-1980*, 2017, pp. 1 and 4-5.

³³ *Ibid.*, pp. 1 and 10-11.

³⁴ Paul Groth, *Living Downtown: The History of Residential Hotels in the United States*, Berkeley/Los Angeles, CA: University of California Press, 1994, pp. 19-20.

³⁵ *Ibid.*, pp. 7 and 52.

³⁶ The Baist map also shows the Hotel Pleasanton at 1120 S. Grand, but building permits show this was replaced by a restaurant building; it has disappeared from the street directory by 1915.

were without elevators and often without a lobby.³⁷ By contrast, the Morrison Hotel is a four-story steel-and-concrete building with two elevators, boasting a ground-floor lobby with wood paneling and elegant Spanish Colonial Revival furniture (see Figure 53 in Appendix 9). The ground floor also had retail spaces; uses over the years included the Morrison Hotel Cafe, a drug store, a bookstore and a tire store.³⁸

Most of the rooms were paired with bathrooms in between, though there were also private baths as well as public men's and women's bathrooms on each floor.³⁹ This is a higher bathroom ratio than purpose-built working-class hotels, which had one bathroom shared among five or six rooms.⁴⁰ Two generous light wells create an E-shaped plan on the upper floors and ensure fresh air and daylight for all rooms.

In 1918, a room at the Morrison cost from 75c a day, \$4 a week or \$16 a month.⁴¹ This is comparable to the other hotels in the area (the Hotel Loma also charged 75 a day and \$4 a week; the Alco charged \$1 a day and \$4.50 a week) and in the Historic Core (the Rosslyn charged between 75c and \$2 for single occupancy without a bath, the King Edward 75c to \$1). Meanwhile, the swanky Alexandria offered daily rates between \$2 and \$12, while—on the absolute lowest end of the scale—a bed in a flophouse could be obtained for 15c to 25c.⁴² By the mid-1920s, the Morrison charged \$1 per day and from \$6 per week. According to Paul Groth's ranking of the costs of urban housing alternatives in the mid-1920s, this places it on the lower end of the price range for the 'midpriced hotel without private bath' category (between \$6 and \$10 weekly).⁴³

The occupations of the Morrison's residents reflect the influx of middle-class workers to Los Angeles in the early 20th century, as its economy and population boomed. Occupations listed in the censuses and street directories include office clerks, accountants, teachers, restaurant workers, nurses and bank clerks, journalists working at the nearby *Los Angeles Examiner* offices, as well as a high proportion of professions related to the burgeoning automobile industry such as

³⁷ SurveyLA, *Los Angeles Citywide Historic Context Statement, Context: Commercial Development, 1859-1980; Theme: Hotels, 1870-1980*, 2017, p. 44; Paul Groth, *Living Downtown: The History of Residential Hotels in the United States*, Berkeley/Los Angeles, CA: University of California Press, 1994, p. 141.

³⁸ Advertisement, Morrison Hotel Cafe, *Los Angeles Evening Express*, 5 April 1921; Dick Whittington Studio, 'Electric sign on drug store, West Pico Boulevard & South Hope Street, Los Angeles, CA,' University of Southern California Digital Library, "Dick" Whittington Photography Collection, 1924–1987, <https://digitallibrary.usc.edu/asset-management/2A3BF10A36HZN?FR=1&W=1024&H=462> (accessed 20 April 2022); *Los Angeles City Directory 1916*, Los Angeles: Los Angeles Directory Company, p. 413; City of Los Angeles, Department of Building and Safety, Building Permit #1917LA00193, dated 11 January 1917.

³⁹ See the architectural drawings in Appendix 6.

⁴⁰ SurveyLA, *Los Angeles Citywide Historic Context Statement, Context: Commercial Development, 1859-1980; Theme: Hotels, 1870-1980*, 2017, p. 44.

⁴¹ Advertisement, Melrose Hotel and Morrison Hotel, *Los Angeles Times*, 3 March 1918.

⁴² Advertisement, Hotel Loma, *Los Angeles Evening Express*, 2 December 1913; Paul R. Spitzzeri, 'Through the Viewfinder: A Snapshot of Figueroa and Tenth Streets, Los Angeles, ca. 1914,' *The Homestead Blog*, 11 December 2019, <https://homesteadmuseum.blog/2019/12/11/through-the-viewfinder-a-snapshot-of-figueroa-and-tenth-streets-los-angeles-ca-1914/> (accessed 20 April 2022); postcard, Rosslyn Hotel, ca. 1913; advertisement, King Edward Hotel, *San Bernardino Courier*, 16 May 1914; brochure, Hotel Alexandria, ca. 1912; Paul Herbold, *Sociological Survey of Main Street, Los Angeles, California* [Master's thesis], University of Southern California, 1936, p. 24.

⁴³ Paul Groth, *Living Downtown: The History of Residential Hotels in the United States*, Berkeley/Los Angeles, CA: University of California Press, 1994, pp. 306-307.

car salesmen and machinists, likely employed on nearby Auto Row.⁴⁴ Modest yet elegant, the Morrison gave these skilled workers a solid, respectable place to stay.

Residents benefited from being within walking radius of the retail and entertainment options found in the downtown commercial district.⁴⁵ The Morrison Hotel also had a strong advantage as an early hotel for the rapidly developing southwestern section of Downtown Los Angeles served by public transit. The Los Angeles Railway Company's Pico Heights streetcar line—later renamed the P Line—ran west from Boyle Heights and downtown to the Pico Heights neighborhood (roughly around Arlington Ave); it was eventually extended as far as Pico/Rimpau. The route conveniently connected with the Santa Fe and Southern Pacific stations—new arrivals could have taken public transportation directly to the Morrison.⁴⁶ From 1920, there was also the J Line from Jefferson Park via downtown to Huntington Park, with a stop at Pico & Grand.⁴⁷ Reliance on public transportation is one of the defining features of this property type; a 1910 ad for the Ponet Square Apartments enthuses that residents can “[t]ake Grand ave. or Pico st. car to the door.”⁴⁸

It is impossible to find out from census data how many people made the Morrison their long-term home over the decades. (Only the 1940 census records list where people were living five years earlier.) However, there is one interesting data point that can be extrapolated. Figures 70 and 71 in Appendix 9 show a 1915 fan letter to Charlie Chaplin written on Morrison Hotel stationery by British actor, director and playwright Reginald Pole, the father of Anais Nin's husband Rupert Pole.⁴⁹ Reginald Pole also appears in the 1920 and 1950 censuses and is listed as a resident in the 1916 and 1922 street directories; it appears, then, that the Morrison was something of a home port for him over the years.⁵⁰ (Another noteworthy guest in 1920 was

⁴⁴ 1920 United States Federal Census, Los Angeles, California (database online), FamilySearch, 2019, <https://familysearch.org/ark:/61903/3:1:33SQ-GR69-D8Z?cc=1488411&wc=QZJG-6J1%3A1036469601%2C1037520201%2C1037735601%2C1589335217>; 1930 United States Federal Census, Los Angeles, California (database online), FamilySearch, 2015, <https://www.familysearch.org/ark:/61903/3:1:33SQ-GR4J-STN?wc=QZFS-SH1%3A648807101%2C648807102%2C648807103%2C1589286407&cc=1810731> (accessed 20 April 2022); Los Angeles City Directories, 1915–1942, Los Angeles: Los Angeles Directory Company.

⁴⁵ Several ads boast about the hotel being a five-minute walk away from 7th & Broadway (*Los Angeles Times*, 15 June 1928; *Los Angeles Times*, 18 January 1930).

⁴⁶ ‘P – West Pico and East 1st Street,’ *Electric Railway Historical Association of Southern California*, <http://erha.org/lary.htm> (accessed 20 April 2022); City of Los Angeles, *Country Club HPOZ: Preservation Plan*, 2010, <https://planning.lacity.org/odocument/4c5a9ddb-1e92-4c99-b68a-c18f6b530328/Country%20Club%20Park%20PP.pdf> (accessed 20 April 2022), p. 22.

⁴⁷ ‘J – West Jefferson and Huntington Park,’ *Electric Railway Historical Association of Southern California*, <http://erha.org/lary.htm> (accessed 20 April 2022).

⁴⁸ SurveyLA, *Los Angeles Citywide Historic Context Statement, Context: Commercial Development, 1859-1980; Theme: Hotels, 1870-1980*, 2017, p. 45; advertisement, Ponet Square Apartments, *Los Angeles Times*, 12 August 1910.

⁴⁹ John Crosse, ‘R. M. Schindler, Edward Weston, Margrethe Mather, Anna Zacek, Lloyd Wright, Lawrence Tibbett, Reginald Pole, Beatrice Wood and Their Dramatic Circles,’ *Southern California Architectural History*, 1 November 2012, <https://socalarchhistory.blogspot.com/2012/11/r-m-schindler-edward-weston-margrethe.html> (accessed 20 April 2022).

⁵⁰ 1920 United States Federal Census, Los Angeles, California (database online), FamilySearch, 2019, <https://familysearch.org/ark:/61903/3:1:33SQ-GR69-D8Z?cc=1488411&wc=QZJG-6J1%3A1036469601%2C1037520201%2C1037735601%2C1589335217> and 1950 United States Federal Census, Los Angeles, California (database online), 1950 Census, 2022, <https://1950census.archives.gov/search/?state=CA&county=Los%20Angeles&ed=66-1931#.Ym45tRJmXaU.link>

author Granville Sturgis, who several years earlier had wintered at the nearby Hotel Alco.⁵¹)

The first manager of the Morrison Hotel was George A. Eastman, who was associated with a number of different hotels over the years, including the Addington, the Woodward and the Melrose.⁵² The hotel continued to be owned by Victor Ponet’s descendants, the Montgomery family, through the 1960s.⁵³

Many middle-class hotels eventually experienced transitions due to their location and/or a lack of modern amenities such as private bathrooms for each room.⁵⁴ This is the fate that also befell the Morrison. After World War II, many early hotels became associated with low-income residents.⁵⁵ This was also a period of decline for Downtown Los Angeles as a whole, as middle- and upper-income Angelenos left urban neighborhoods for suburban environments.⁵⁶

The Morrison Hotel became long-term affordable housing for low-income tenants. A 2005 *Los Angeles Times* article on the gentrification of Downtown Los Angeles highlights the important role residential hotels have played for the city’s poor. The article mentions a 39-year-old actor who had been living at the Morrison for five years with his girlfriend—an assistant at an accounting firm—and their three children: ‘[This is] a place we [can] afford.’⁵⁷ The hotel was associated with several slumlord lawsuits filed against the building’s owners for unsafe and unsanitary living conditions—in 1988, and again in 2004.⁵⁸ The property has been vacant since around 2006.

2. Is associated with the lives of historic personages important to national, state, city, or local history.

Victor Ponet

The subject property is significant for its association with Victor Ponet (1836–1914), the early Los Angeles pioneer and developer who in 1913 tasked the Morgan, Walls & Morgan

(accessed 20 April 2022); *Los Angeles City Directory 1916*, Los Angeles: Los Angeles Directory Company, p. 1597; *Los Angeles City Directory 1922*, Los Angeles: Los Angeles Directory Company, p. 2173.

⁵¹ Paul R. Spitzzeri, ‘Through the Viewfinder: A Snapshot of Figueroa and Tenth Streets, Los Angeles, ca. 1914,’ *The Homestead Blog*, 11 December 2019, <https://homesteadmuseum.blog/2019/12/11/through-the-viewfinder-a-snapshot-of-figueroa-and-tenth-streets-los-angeles-ca-1914/> (accessed 20 April 2022); *1920 United States Federal Census, Los Angeles, California* (database online), *FamilySearch*, 2019,

<https://familysearch.org/ark:/61903/3:1:33SQ-GR69-D8Z?cc=1488411&wc=QZJG-6J1%3A1036469601%2C1037520201%2C1037735601%2C1589335217> (accessed 20 April 2022); ‘Dr. Sturgis Visitor Here,’ *Los Angeles Evening Express*, 5 December 1914.

⁵² *Los Angeles City Directory 1916*, Los Angeles: Los Angeles Directory Company, p. 724; advertisement, Melrose Hotel and Morrison Hotel, *Los Angeles Times*, 3 March 1918.

⁵³ This information is based on the building permit history. Grant deeds for the property could not be accessed as the Los Angeles County Assessor’s Office’s map room is currently closed to the public.

⁵⁴ SurveyLA, *Los Angeles Citywide Historic Context Statement, Context: Commercial Development, 1859-1980; Theme: Hotels, 1870-1980*, 2017, p. 44.

⁵⁵ Nathan Andrew Bevil, *Preserving Single-Room Occupancy Hotels* [Master’s thesis], University of Georgia: Athens, Georgia, 2009, p. 77.

⁵⁶ SurveyLA, *Historic Resources Survey Report: Central City Community Plan Area*, 2016, p. 24.

⁵⁷ Cara Mia DiMassa, ‘Crowded Out by Luxury Lofts, Poor Seek Relief,’ *Los Angeles Times*, 12 October 2005.

⁵⁸ ‘4 Slumlord Cases Filed,’ *Los Angeles Times*, 9 February 1988; Carla Rivera, ‘Morrison Hotel Hit With Tenant Suit,’ *Los Angeles Times*, 22 December 2004.

architectural firm with designing the building that would come to be known as the Morrison Hotel.⁵⁹ Ponet had risen to prominence during the 1880s real estate boom, when he began buying and selling plots of land and established himself as one of the city's most prominent businessmen.⁶⁰

Born in Ulbeek, Belgium in 1836, Ponet was a cabinetmaker by trade. He migrated to the US in 1865 and, after spending several years in New York and San Francisco, came to Los Angeles in 1869, when it was a town with a population of no more than 5,700.⁶¹ He opened up a picture-frame shop at 1st & Main St. before moving on to manufacturing coffins and providing undertaking services several years later—initially on his own, and later in partnership with Benjamin F. Orr as Ponet & Orr.^{62,63} Before long, Ponet was known as the city's leading undertaker.⁶⁴

In 1873, he became an American citizen and married an Irish immigrant named Ellen Josephine Manning, who went by Nellie.⁶⁵ Nellie Ponet also had an entrepreneurial spirit and opened a millinery shop just down the road from her husband's business.⁶⁶ A series of October 1882 ads boast that 'Madame Ponet' has just returned from New York 'with the Latest Paris Importations of French Bonnets, Flowers, [and] Feathers.'⁶⁷

⁵⁹ 'Plan New Buildings. Four-Story Hotel to be Erected on Pico Street—Work in the Architects' Offices,' *Los Angeles Times*, 24 August 1913.

⁶⁰ A newspaper archive search reveals records of sixteen different real-estate transactions that he was involved in over the 1880s.

⁶¹ *Who's Who in the Pacific Southwest*, Los Angeles: The Times-Mirror Printing & Binding House, 1913, p. 297; 'Victor Ponet Funeral Takes Place Tuesday,' *Los Angeles Evening Express*, 9 February 1914; obituary, Victor Ponet, *The Tidings*, 13 February 1914; Historic General Population: City & County of Los Angeles, 1850 to 2020, *Los Angeles Almanac*, <http://www.laalmanac.com/population/po02.php>, accessed 20 April 2022. The population for the City of Los Angeles in 1860 is listed as 4,385; by 1870, it had increased to 5,728.

⁶² Advertisement, Victor Ponet – Maker of Picture Frames, *Los Angeles Daily News*, 13 April 1870.

⁶³ Paul R. Spitzzeri, 'Through the Viewfinder: A Traffic Jam Outside the Downey Block, Los Angeles, 1872,' *The Homestead Blog*, 16 February 2022, <https://homesteadmuseum.blog/2022/02/16/through-the-viewfinder-a-traffic-jam-outside-the-downey-block-los-angeles-1872/>, accessed 20 April 2022; advertisement, Los Angeles Coffin Manufacturer and Undertaker V. Ponet, *Los Angeles Daily Star*, 4 May 1873; advertisement, Ponet & Orr, *Los Angeles Herald*, 2 May 1878.

⁶⁴ Death announcement for John S. McLaughlin, *Los Angeles Herald*, 28 April 1882; in *Seventy Years in California: 1857–1927*, J.A. Graves writes, 'V. Ponet and a man named Nietzke [sic – he means Ernst Neitzke] were the leading undertakers.' (Los Angeles, CA: The Times Mirror Press, 1929, p. 113)

⁶⁵ *US Naturalization Record Indexes, 1791-1992 (Indexed in World Archives Project)* (database online), *Ancestry.com*, 2010, https://www.ancestry.com/discoveryui-content/view/8302666:1629?tid=&pid=&queryId=19b0be91930863d18f5cbaa3cf5fd81e&_phsrc=snu150&_phstart=sucessSource (accessed 20 April 2022); *California, US, County Birth, Marriage, and Death Records, 1849-1980* (database online), *Ancestry.com*, 2017, https://www.ancestry.com/discoveryui-content/view/901453252:61460?tid=&pid=&queryId=0076effbaaf6ccd4b5e65ba5850ed8e&_phsrc=snu156&_phstart=sucessSource (accessed 20 April 2022); obituary, Mrs. Ellen Manning Ponet, *The Tidings*, 28 February 1919; 'Los Angeles County Biographies: Victor Ponet,' in John Steven McGroarty, *California of the South*, vol. II, Chicago/Los Angeles/Indianapolis: Clarke Pub., 1933, pp. 13–15, <http://freepages.rootsweb.com/~npmelton/genealogy/lapon.htm> (accessed 20 April 2022).

⁶⁶ A 7 November 1873 ad in the *Los Angeles Daily Star* for Mrs. Ponet's Pioneer Millinery lists the location as being on Commercial Street, between Main and Los Angeles. Now gone, Commercial Street ran east between the 200 and 300 blocks of Main Street (1921 Baist Map, Plate 3). Ponet's undertaking business was located at 66 Main St. Later on Nellie Ponet's store moved to 76 Main Street, then 121 Spring Street.

⁶⁷ Advertisement, Madame V. Ponet, *Los Angeles Times*, 6 October 1882.

Over the course of that same decade, the Ponets began making a series of shrewd real-estate investments. Two years earlier, in 1880, Nellie Ponet had acquired the block bordered by Pico, Hope, 12th and Grand, which was to be the future location of the Morrison Hotel.⁶⁸ Grandstand seats went up, and the area became a venue for La Fiesta de Los Angeles, an annual springtime festival in celebration of the city's multicultural heritage first held in 1884 that continued until the beginning of World War I. The judges would sit in the grandstand to scrutinize the parade of horse-drawn floats that came by, which is how the spot became known as Fiesta Park. It was also used as a venue for carnivals, sporting events (including USC football games) and police drills.⁶⁹ In 1910, it was covered with a canvas big top to host the Los Angeles Auto Show, a harbinger of both Los Angeles's burgeoning car culture and the South Park neighborhood's in particular.⁷⁰

Meanwhile, the block became known as Ponet Square, and Victor Ponet began developing its southern half in 1906, when he commissioned a four-story apartment building on the corner of Grand & Pico from architect A.L. Haley. Known as the Ponet Square Apartments or the Ponet Square Hotel, it featured sixty rooms, making it one of the city's largest residential structures. Ponet initially stipulated that the building be designed in such a way as to allow for northward or westward expansion, though this didn't ultimately end up happening.⁷¹

On 13 September 1970, the building became the site of an arson fire in which 19 people lost their lives—one of the deadliest fires in LA history. The blaze resulted in the 1971 Ponet Square Ordinance, which applied the city's 1943 fire safety code to all buildings constructed before that date.⁷² Fire-proof safety doors to enclosed stairwells are still referred to as 'Ponet doors.'⁷³

But Victor Ponet isn't just remembered for his indirect association with this tragedy: he played an important role in the early development of Los Angeles, both its business life and its built environment. He was a founder and president of the German-American Savings Bank, a trustee of the Chamber of Commerce, the Belgian consul for Los Angeles and vice-consul for Southern California and Arizona; he was made a Knight of the Order of Leopold by the Belgian king for his contributions as a representative of Belgium in Los Angeles.⁷⁴ He was one of the founders of Evergreen Cemetery in Boyle Heights,⁷⁵ and gifted the land and building for St. Victor's Church

⁶⁸ 'Property Transfers,' *Los Angeles Evening Express*, 23 November 1880.

⁶⁹ Cecilia Rasmussen, 'Downtown's Fiesta Began as a Multicultural Celebration,' *Los Angeles Times*, 27 April 2003; 'Nat-Reiss Southern Carnival Co., Los Angeles. 1904,' Huntington Digital Library, <https://hdl.huntington.org/digital/collection/p15150coll2/id/4271> (accessed 20 April 2022); 'Annual Police Inspection Tomorrow,' *Los Angeles Evening Express*, 30 April 1912.

⁷⁰ 'Fiesta Park for Auto Show,' *Los Angeles Times*, 27 January 1910.

⁷¹ 'Victor Ponet Building,' *Los Angeles Times*, 1 April 1906.

⁷² Brian Hsu, 'The Ponet Square Hotel, northwest corner of Pico Boulevard and Grand Avenue, 1924-2013,' *urban diachrony*, 12 June 2013, <https://urbandiachrony.wordpress.com/2013/06/12/the-ponet-square-hotel-northwest-corner-of-pico-boulevard-and-grand-avenue-1924-2013/> (accessed 20 April 2022).

⁷³ 'Firefighter History 9/13,' FirefighterCloseCalls.com, 13 September 2020, <https://www.firefighterclosecalls.com/firefighter-history-9-13-2/> (accessed 20 April 2022).

⁷⁴ '25 Years Ago Today – From the Express, July 8, 1906,' *Los Angeles Evening Express*, 8 July 1931; *Who's Who in the Pacific Southwest*, Los Angeles: The Times-Mirror Printing & Binding House, 1913, p. 297.

⁷⁵ 'Evergreen Cemetery,' *Los Angeles Evening Express*, 5 June 1877.

in West Hollywood (then known as Sherman), where he settled down.⁷⁶ The 240-acre Ponet estate, surrounded by avocado groves and poinsettia fields, was situated in what would become the heart of the Sunset Strip, where his daughter and son-in-law would go on to develop Sunset Plaza, the Strip's first significant commercial development, which is still owned by the family to this day.⁷⁷

He also gave his name to the Ponet Terrace subdivision, the easternmost and earliest part of the Lower Oaks district, which was developed in the 1920s.⁷⁸ This district is significant as an early example of a planned residential subdivision in Hollywood and for its association with the entertainment industry, as many entertainment industry professionals called it home.⁷⁹ There's still a Ponet Drive in the area; as of 1987, one of his descendants lived on nearby Green Oak Drive.⁸⁰

Victor Ponet passed away in 1914 at the age of 78; Nellie Ponet died two years later. Following his death, the newspapers highlighted his 'prominent [role] in the upbuilding of Los Angeles.'⁸¹ Ponet was a true example of a self-starter: the 1870 Los Angeles census lists him as a 'laborer' with a personal estate worth \$500 and real-estate worth \$150 (the present-day equivalent would be around \$11,000 and \$3,200, respectively); after his death in 1914, his estate was valued at \$486,924 (almost \$14 million by today's standards).⁸²

The Doors' Morrison Hotel

The subject property is also significant for its association with one of the most influential bands to come out of Los Angeles: the Doors. In December 1969, rock photographer Henry Diltz

⁷⁶ 'Old St. Victor's Razed To Make Way For New,' *The Tidings*, 31 July 1959. The original 1906 building was demolished and replaced with a contemporary structure.

⁷⁷ Hadley Meares, 'Born to be wild: How a dusty road became the Sunset Strip—the most famous place in LA to misbehave,' *Curbed*, 25 January 2019, <https://la.curbed.com/2019/1/25/18189104/sunset-strip-boulevard-early-history> (accessed 20 April 2022); City of West Hollywood, *Historic Context & Associated Property Types: Sherman and Adjacent County Lands 1895–1925*, September 2016, West Hollywood Preservation, <https://www.wheopreservation.org/wp-content/uploads/2016/10/Tile-4-Hist-Context.pdf> (accessed 20 April 2022); 'Sunset Plaza History,' *Sunset Plaza*, <https://sunsetplaza.com/about-shopping-experience/our-history/> (accessed 20 April 2022).

⁷⁸ Ponet himself had died by this time; the subdivision was owned by an organization called Ponet Terrace Syndicate. The connection between Victor Ponet and the syndicate is somewhat nebulous; one source claims it was a business from a former project in which Ponet had been involved that carried on after his death. (Paul R. Spitzzeri, 'All Over the Map/Beyond the Grave Two-Fer: Ponet Terrace, Los Angeles, 1920s,' 30 October 2017, *The Homestead Blog*, <https://homesteadmuseum.blog/2017/10/30/all-over-the-mapbeyond-the-grave-two-fer-ponet-terrace-los-angeles-1920s/> (accessed 20 April 2022); tovangar2, 'Thank you odinhor...' *SkyscraperPage.com Forum*, 30 January 2018, <https://skyscraperpage.com/forum/showthread.php?t=170279&page=2263> (accessed 20 April 2022).

⁷⁹ SurveyLA, *Hollywood – Historic Districts, Planning Districts and Multi-Property Resources – 11/23/15*, p. 481.

⁸⁰ Diane Kanner, 'Durants Made History in Hollywood Hills Home,' *Los Angeles Times*, 24 May 1987.

⁸¹ 'Victor Ponet Funeral Takes Place Tuesday,' *Los Angeles Evening Express*, 9 February 1914; obituary, Victor Ponet, *The Tidings*, 13 February 1914; 'Victor Ponet's Widow Is Dead,' *Los Angeles Times*, 20 February 1919.

⁸² 1870 United States Federal Census, *Los Angeles, California* (database online), *Ancestry.com*, 2009, <https://www.ancestry.com/discoveryui-content/view/13453816:7163?tid=&pid=&queryId=c6986e72e3e76f24455c923597189ee9&phsrc=snu148&phsta rt=succesSource> (accessed 20 April 2022); 'Widow Gets Bulk of Victor Ponet Estate,' *Los Angeles Evening Express*, 22 August 1917; Alioth Finance, 'Inflation Calculator,' *US Official Inflation Data*, 13 April 2022, <https://www.officialdata.org/> (accessed 20 April 2022).

photographed the band for their fifth studio album, which was to come out the following year. At the time, they didn't have a title for an album yet. Keyboardist Ray Manzarek suggested a place he'd seen in downtown Los Angeles called the Morrison Hotel as a possible location for the cover shoot.

When the group arrived, the desk clerk wouldn't allow them to take any pictures inside. 'We went outside, and when I saw him [get in the elevator], I told the guys to hurry inside and stand in the window,' Henry Diltz recounted in a 2005 interview.⁸³ According to Diltz, you can see the lit elevator numbers underneath the 'son' in Morrison in the picture that became the album cover. Using his Nikon camera, he shot one roll of film in just a few minutes, starting close to the window and then backing across Hope Street with a telephoto lens.⁸⁴

The band ended up naming their album after the hotel. *Morrison Hotel* was released in 1970 and made the Doors the first American rock group to get five gold albums in a row; many critics consider it to be among the best albums from that decade.⁸⁵ It also brought its namesake into widespread public consciousness. The Morrison Hotel became a potent symbol, considered a metaphor for lead singer Jim Morrison's mind—or, alternatively, his body—a little the worse for wear, but rich with experiences and echoes of the past.⁸⁶

According to SurveyLA, Los Angeles' identity is inextricably tied to its role in the motion picture, radio, television, and recording/music industries. Significant property types in this context include hotels directly associated with people in the entertainment industry.⁸⁷ While Jim Morrison did not stay at the hotel, it remains a popular place of pilgrimage for Doors fans to this day. People from all over the world flock to the Morrison Hotel to restage photos from the shoot. For the 2020 'Day of the Doors' event, the window of the hotel was restored especially to look exactly like it did on the iconic album cover for fan photo ops in celebration of the album's 50th anniversary.⁸⁸

The *Morrison Hotel* album cover is also part of a broader pattern of downtown Los Angeles' combination of grit and historic grandeur being used as a backdrop in rock n' roll photography: from the photo of the original Hard Rock Café on East 5th Street on the rear cover of the Doors album to Robert Frank shooting footage of the Rolling Stones on Main Street in 1971—giving *Exile on Main Street* its name—and Meiert Avis filming the Grammy-winning music video for U2's *Where the Streets Have No Name* on the rooftop of the Republic Liquor store at 7th & Main

⁸³ Robert Murphy, 'Almost Famous,' *Women's Wear Daily*, vol. 190, issue 6 (11 July 2005), p. 28.

⁸⁴ Ron Garmon, 'Weird Scenes Inside the Goldmine: How slumlord siblings trashed the iconic Morrison Hotel and how tenants fought back,' *LA City Beat*, 2007, https://web.archive.org/web/20120730082023/http://www.saje.net/site/c.hkLQJcMUKrH/b.2801673/k.251D/Weird_Scenes_Inside_The_Goldmine.htm (accessed 20 April 2022).

⁸⁵ John Anthony Moretta, *The Hippie: A 1960s History*, Jefferson, NC: McFarland, p. 316.

⁸⁶ James Hunt, *Into This House We're Born*, Morrisville, NC: Lulu.com, 2006, p. 367.

⁸⁷ SurveyLA, *Los Angeles Citywide Historic Context Statement, Context: Entertainment Industry, 1908–1980; Theme: Commercial Properties Associated with the Entertainment Industry, 1908–1980*, 2019, p. 17.

⁸⁸ 'Day Of The Doors 2020 To Feature Original Morrison Hotel Restored In Los Angeles On January 4,' *Rhino*, 16 December 2019, <https://www.rhino.com/article/day-of-the-doors-2020-to-feature-original-morrison-hotel-restored-in-los-angeles-on-january> (accessed 20 April 2022).

in 1987.⁸⁹ These iconic images cemented and shaped Los Angeles' role in the public imagination.

With more than four hundred album covers to his name, Henry Diltz has built a reputation as the most important music photographer of all time.⁹⁰ But *Morrison Hotel* remains his most iconic: 'Out of all the covers I've done, that's the one people remember immediately.'⁹¹ When he founded an art gallery in New York City specializing in music photography with two partners, they called it the Morrison Hotel Gallery in tribute to his most well-known image.

3. Embodies the distinctive characteristics of a style, type, period, or method of construction; or represents a notable work of a master designer, builder, or architect whose individual genius influenced his or her age.

The Morrison Hotel was designed by Morgan, Walls & Morgan, who played a crucial role in shaping the early Los Angeles built environment. Between 1876 and 1937, working in various constellations, these architects designed many of the city's landmark buildings.⁹² A 1913 biography of Octavius Morgan considers him to be responsible for one-third of the architectural work in the city.⁹³ The subject property is a rare example of the hotel property type by this firm and a noteworthy aesthetic outlier in their body of work.

F.O. Engstrum

The subject property's contractor was also a leading figure in the world of Los Angeles architecture. Born in Stockholm, Sweden in 1848, Franz Otto Engstrum worked as a stone cutter in his home country before coming to the US. He came to California in 1886 and settled in Los Angeles in 1892. His company grew to be one of the largest contractors in the west, with noteworthy buildings including the Bryson Apartments in MacArthur Park (LA HCM No. 653) and the Riverside County Courthouse.⁹⁴

Morgan, Walls & Morgan

Octavius Morgan (1850–1922) was born in Canterbury, England. He attended the Sydney

⁸⁹ Bill Counter, 'Galway Theatre,' Los Angeles Theatres, April 2019, <https://losangelestheatres.blogspot.com/2019/04/galway-theatre.html>; Matt Wake, 'The Forgotten History of the Rolling Stones' *Exile on Main St.*,' *LA Weekly*, 31 August 2017, <https://www.laweekly.com/the-forgotten-l-a-history-of-the-rolling-stones-exile-on-main-st/>; Sharon Knolle, 'Flashback Monday: U2 Performs On A Roof In Downtown LA,' *LAist*, 23 September 2013, <https://laist.com/news/flashback-monday-u2-performs-on-a-r> (accessed 22 April 2022).

⁹⁰ Virginie Kippelen, 'A conversation with photographer Henry Diltz, the man behind the lens of the most iconic photos in rock n' roll,' *ARTS ATL*, 18 April 2016, <https://www.artsatl.org/photographer-henry-diltz/> (accessed 20 April 2022).

⁹¹ Ron Garmon, 'Weird Scenes Inside the Goldmine: How slumlord siblings trashed the iconic Morrison Hotel and how tenants fought back,' *LA City Beat*, 2007, https://web.archive.org/web/20120730082023/http://www.saje.net/site/c.hkLQJcMUKrH/b.2801673/k.251D/Weird_Scenes_Inside_The_Goldmine.htm (accessed 20 April 2022).

⁹² Jenna Snow, *Cultural Resources Technical Appendix: 361 South Spring Street, Los Angeles, CA*, 2017, https://planning.lacity.org/staffrpt/mnd/Pub_090717/ENV-2017-1874-C.pdf (accessed 30 April 2022), p. 16.

⁹³ 'Octavius Morgan,' Press Reference Library, *Western Edition Notables of the West*, vol. I, New York, NY: International News Service, 1913, p. 240.

⁹⁴ *Who's Who in the Pacific Southwest*, Los Angeles CA: The Times-Mirror Printing & Binding House, 1913, p. 132.

Cooper School of Art in Canterbury while at the same time working for architect and contractor F.A. Gilham.⁹⁵ Morgan came to the US in 1871, arriving in Denver, Colorado. Over the next several years the search for gold drove him further west, through Colorado, Wyoming, Idaho, Utah, Nevada and finally California, where he secured a placer claim on Lytle Creek in San Bernardino County before arriving in Los Angeles by pack horse in 1874.⁹⁶

Initially he worked as a carpenter, before joining the office of architect Ezra F. Kysor as a draftsman.⁹⁷ Kysor had established his practice in 1868 and is considered LA's first architect; he was responsible for a number of major buildings in early Los Angeles, including Masonic Hall (1858), the Merced Theater (1870), the Cathedral of St. Vibiana (1876) and Pico House (1870), the earliest extant hotel in Los Angeles.⁹⁸ By 1880, Kysor had made Morgan a partner in the firm. They were joined by John A. Walls (1858–1922), a Buffalo, NY native. Like Morgan, he started out as a draftsman until eventually becoming a partner.⁹⁹

By 1890, Kysor was fully retired and the firm continued as Morgan & Walls.¹⁰⁰ Some of the most noteworthy buildings from this period include the Van Nuys Hotel/Barclay Hotel (LA HCM No. 288), the Farmers & Merchants Bank Building (LA HCM No. 271), the Hellman Building (LA HCM No. 729) and the Kerckoff Building (LA HCM No. 806).

In 1910 they took on Octavius Morgan's son, Octavius Weller Morgan (1886–1951), as partner. Morgan, Walls & Morgan designed theaters, hotels, commercial and industrial buildings. Some of their best-known work includes the Haas Building, the Garland Building and the I.N. Van Nuys Building (LA HCM No. 898). In 1922, Octavius Morgan Sr. and John A. Walls died and draftsman Stiles O. Clements became partner; thereafter, the firm was known as Morgan, Walls & Clements (1923–1937).¹⁰¹

Many of Morgan, Walls & Morgan's commercial buildings reflect the Beaux Arts style that was favored at the turn of the 20th century, with glazed terra cotta, decorative spandrel panels, large

⁹⁵ Franklin Harper (ed.), *Who's Who on the Pacific Coast*, Los Angeles, CA: Harper Publishing Company, 1913, pp. 410-411; John Steven McGroarty (ed.), *History of Los Angeles County*, vol II, Chicago, IL/New York, NY: The American Historical Society, Inc., 1923, p. 141; T. Machado, 'The Sydney Cooper School of Art,' *Historic Canterbury*, 2007, <http://www.machadoink.com/Sidney%20Cooper%20School%20of%20Art.htm> (accessed 30 April 2022). Some sources mistakenly refer to his employer as 'Gilhams' or 'Gilhaus,' but there are various mentions in Kent newspapers in the 1860s and 1870s of an F.A. Gilham, so it is reasonable to assume that is the correct name.

⁹⁶ Franklin Harper (ed.), *Who's Who on the Pacific Coast*, Los Angeles, CA: Harper Publishing Company, 1913, pp. 410-411; John Steven McGroarty (ed.), *History of Los Angeles County*, vol II, Chicago, IL/New York, NY: The American Historical Society, Inc., 1923, p. 141.

⁹⁷ *An Illustrated History of Los Angeles County, California*, Chicago, IL: The Lewis Publishing Company, 1889, pp. 506-507

⁹⁸ 'National Register of Historic Places Registration Form: Kerckoff Building and Annex,' *National Park Service*, 1990, <https://npgallery.nps.gov/GetAsset/a1e892ae-b9c2-4a00-992b-4428cb8601f2> (accessed 30 April 2022).

⁹⁹ *From Pueblo to City, 1849–1910*, Los Angeles, CA: LeBerthon, 1910, p. 43.

¹⁰⁰ Kysor retired sometime between 1886 and 1890. Sources conflict as to exactly when, but census data reveals he was retired by September 1890. ('Ezra Franklin Kysor (Architect),' *Pacific Coast Architecture Database*, <https://pcad.lib.washington.edu/person/201/>. Accessed 30 April 2022)

¹⁰¹ 'National Register of Historic Places Registration Form: Kerckoff Building and Annex,' *National Park Service*, 1990, <https://npgallery.nps.gov/GetAsset/a1e892ae-b9c2-4a00-992b-4428cb8601f2> (accessed 30 April 2022).

projecting cornices, tripartite design and low-relief sculptural ornamentation.¹⁰² By the time Stiles Clements came on board, Spanish Colonial Revival, Exotic Revival, Art Deco and Moderne had gained popularity. During this period they created some of the city's most exuberantly decorated buildings.¹⁰³ This was possible due in part to tremendous technological advances starting in the early 1920s. Colored tile glazes achieved new levels of richness in the laboratory of master ceramic engineer Rufus Keeler, driving force of the Calco and Malibu potteries. Keeler developed some of the nation's most distinctive glazes, and worked closely with Stiles Clements on major commissions, most notably the Mayan Theater.¹⁰⁴

Commercial Vernacular/Beaux-Arts

The subject property has many of the features of Commercial Vernacular architecture: the rectangular plan, flat roof with parapet, brick exterior with face brick on primary facades, first-story storefronts with transom windows above, paired and single wood double-hung sash upper-story windows, segmental arch window openings on rear elevations and decorative friezes.¹⁰⁵

Beaux Arts Classicism had become the favored style for commercial buildings following the 1893 World's Columbian Exposition in Chicago (which, incidentally, the building's owner Victor Ponet had attended personally¹⁰⁶).¹⁰⁷ The Morrison falls within the Beaux-Arts style, with features such as the tripartite façade, classical ornamentation (the galvanized-iron fret and egg-and-dart bands), a light-colored brick façade, decorative spandrel panels, ordered fenestration and window bays that emphasize the verticality of the design.

However, the subject property stands out in contrast to both Morgan, Walls & Morgan's body of work and other buildings of the same property type. Morgan, Walls & Morgan's more well-known structures from the same time period, such as the Van Nuys Building (1911/1912), the Garland Building (1913), the Title Guarantee Block (1913) and the Haas Building (1915), are height-limit buildings which are more imposing, classical and streamlined in style. During the time, the firm also built two other hotels in the southwestern section of Downtown Los Angeles: the 47-room Hotel Loma at 1007 S. Figueroa St. and the 60-room Hotel Alco directly next door to the Loma. While their budgets were comparable, these hotels are both smaller and more sober in style than the Morrison (see Figures 18 and 19 in Appendix 4).¹⁰⁸ Other mid-range hotels from the same era are also more utilitarian and predictable in style.

The Morrison Hotel, on the other hand, has some unusual ornamental flourishes: the patterned

¹⁰² Robert Chattel, *Historic-Cultural Monument Application for the Van Nuys Building*, 2007, <https://planning.lacity.org/staffrpt/chc/10-18-07/chc-2007-3528.pdf> (accessed 30 April 2022), p. 14.

¹⁰³ 'National Register of Historic Places Registration Form: Kerckhoff Building and Annex,' *National Park Service*, 1990, <https://npgallery.nps.gov/GetAsset/a1e892ae-b9c2-4a00-992b-4428cb8601f2> (accessed 30 April 2022).

¹⁰⁴ Telephone conversation with Richard Schave, 30 April 2022; 'In Praise of Malibu Potteries,' *Outerknown*, 4 March 2019, <https://www.outerknown.com/blogs/journey/in-praise-of-malibu-potteries> (accessed 30 April 2022); Janette Williams, 'Living in an all-tile house is a one-of-a-kind experience,' *Daily Breeze*, 6 March 2020.

¹⁰⁵ Architectural Resources Group, *City of Santa Monica Draft Historic Resources Inventory Update: Historic Context Statement*, 2017, p. 310.

¹⁰⁶ 'Personal,' *Los Angeles Herald*, 24 October 1893.

¹⁰⁷ SurveyLA, *Los Angeles Citywide Historic Context Statement, Context: Architecture and Engineering; Theme: Beaux Art Classicism, Neoclassical, and Italian Renaissance Revival Architecture, 1895–1940*, 2018, pp. 15-16.

¹⁰⁸ The Hotel Loma cost \$50,000 for 47 rooms, vs. \$90,000 for roughly twice as many rooms for the Morrison. (City of Los Angeles, Department of Building and Safety, Building Permit #1913LA03187, dated 11 March 1913)

brickwork on the spandrel panels; the unusual belt course below the egg-and-dart band, with header and slanted bricks and green diamond-shaped tiles creating a kind of shadow line; and the orange, black and mint-green tile cladding in the vestibule. This detailing is unusually colorful and playful for buildings of this time period; it wasn't until after World War I and the Spanish influenza pandemic that residential architecture "lightened up," reflecting a change in the zeitgeist.

The bright tile in particular is very unusual and might point toward Spanish Colonial Revival influences.¹⁰⁹ One contemporaneous building that features colorful tilework is Julia Morgan's Herald-Examiner Building at nearby 11th & Olive, completed in 1914 in the Mission Revival/Spanish Colonial Revival style. This style was on the rise at the time, a shift that was evident at the January 1915 Panama-California Exposition held in San Diego. The Santa Fe Depot in San Diego built for that occasion also features some exuberant tile detailing (see Figure 20 in Appendix 4).

The ornamental brickwork on the spandrel panels is reminiscent of woven fabric seen in the Navajo/Southwest design¹¹⁰ popularized by Charles Lummis. (For comparison, see Figure 21 in Appendix 4.) Lummis' Southwest Museum opened in Los Angeles the same year the Morrison Hotel was completed.

One extant building that does have visual similarities with the subject property is the Amherst Apartments building on the southwest corner of S. Union Ave & W. 8th St. Built in 1912, it also features a white brick façade, a tan, orange/earth-tone, white and green color scheme, decorative tilework, recessed window bays with decorative spandrel panels and brickwork details to emphasize the verticality of the design (see Figures 22 and 23 in Appendix 4). The building was designed by architect Robert M. Taylor; a newspaper article about its construction refers to 'unusually attractive ornamentation' and points out that '[a]ll of the decorative work will be in art tile in colors.'¹¹¹ This phrasing tells us how rare this kind of detailing still was at the time. The parallels between the Amherst Apartments and the Morrison Hotel suggest that these features may reflect a nascent broader architectural trend.

The 1913 building permit for the Morrison Hotel was signed by Octavius Weller Morgan (i.e. Morgan Jr.). At twenty-seven years old, he was less than half the age of the other two architects in the firm. The Morrison, then, may be a deliberate shift from previously favored styles by a young architect who was developing his own style and looking ahead to some of the trends that would come into focus in the years that followed.

¹⁰⁹ Telephone conversation with architectural historian William Ellinger, 28 April 2022.

¹¹⁰ Ibid.

¹¹¹ 'Decorations in Tile. Fine Apartments at Eighth and Union Will Boast Unusually Attractive Ornamentation.,' *Los Angeles Times*, 4 February 1912.

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Appendices

1. Maps
2. Census Data
3. Victor Ponet
4. Comparative Images
5. Newspaper Clippings
6. Morgan, Walls & Morgan Architectural Drawings
7. Copies of Building Permits for Major Alterations
8. Additional, Contemporary Photos
9. Historical Photos
10. ZIMAS Parcel Report
11. SurveyLA





APPENDIX 1. MAPS



Figure 1. Pierce, B.W. 1894 map of Los Angeles, showing the southwestern section of Downtown Los Angeles, still dominated by single-family homes.

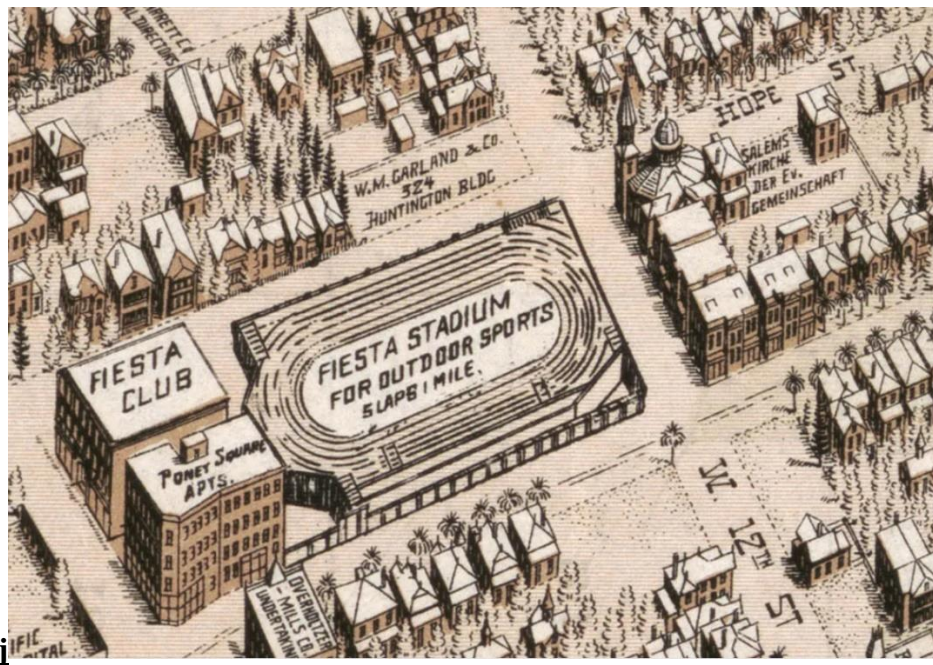


Figure 2. Gates, Worthington. 1909 map showing Fiesta Park and the Ponet Square Hotel. This map is not drawn to scale; the 'Fiesta Club' building was likely smaller and more utilitarian, as there are no records of any buildings being demolished to make way for the Morrison.

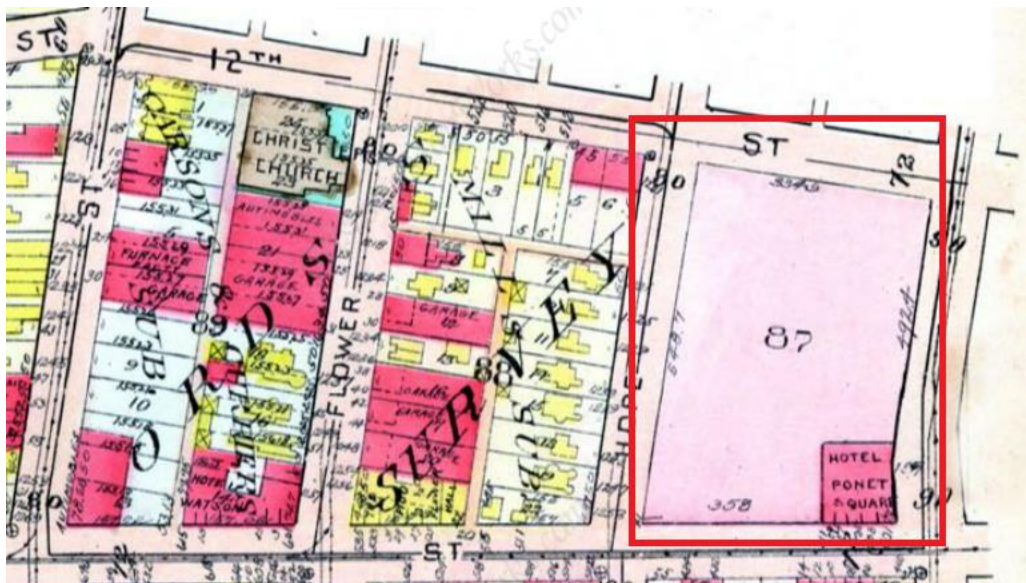


Figure 3. 1914 Baist Map, Plate 9, showing Block 87 of Ord's Survey with the Ponet Square Hotel and Auto Row south of 12th St. The double lines are streetcar tracks.

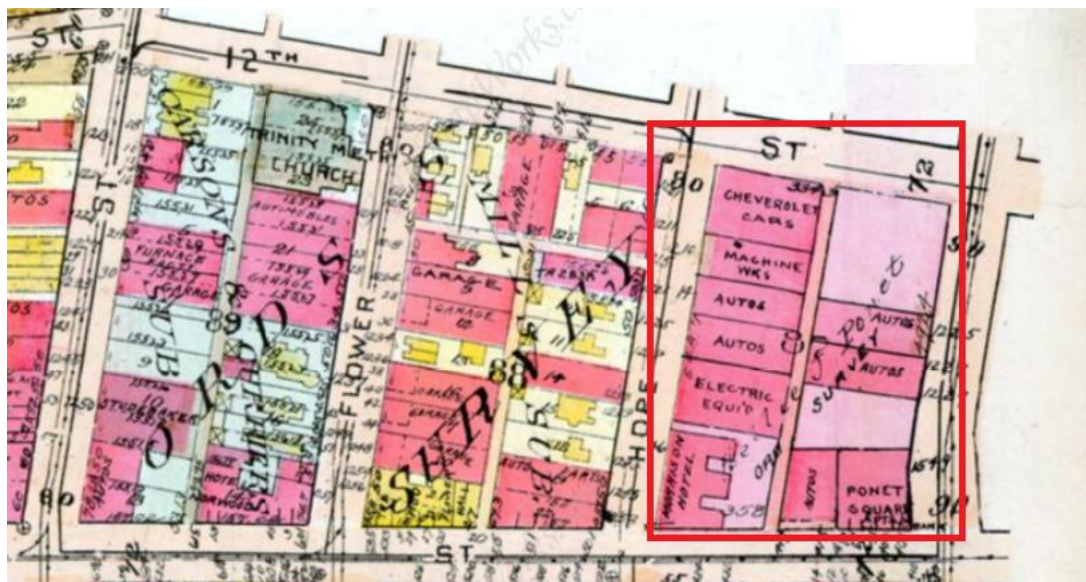


Figure 4. 1921 Baist Map, Plate 9, showing Auto Row south of 12th St. and a more developed Block 87 of Ord's Survey, owned by Nellie J. Ponet, with the subject property.

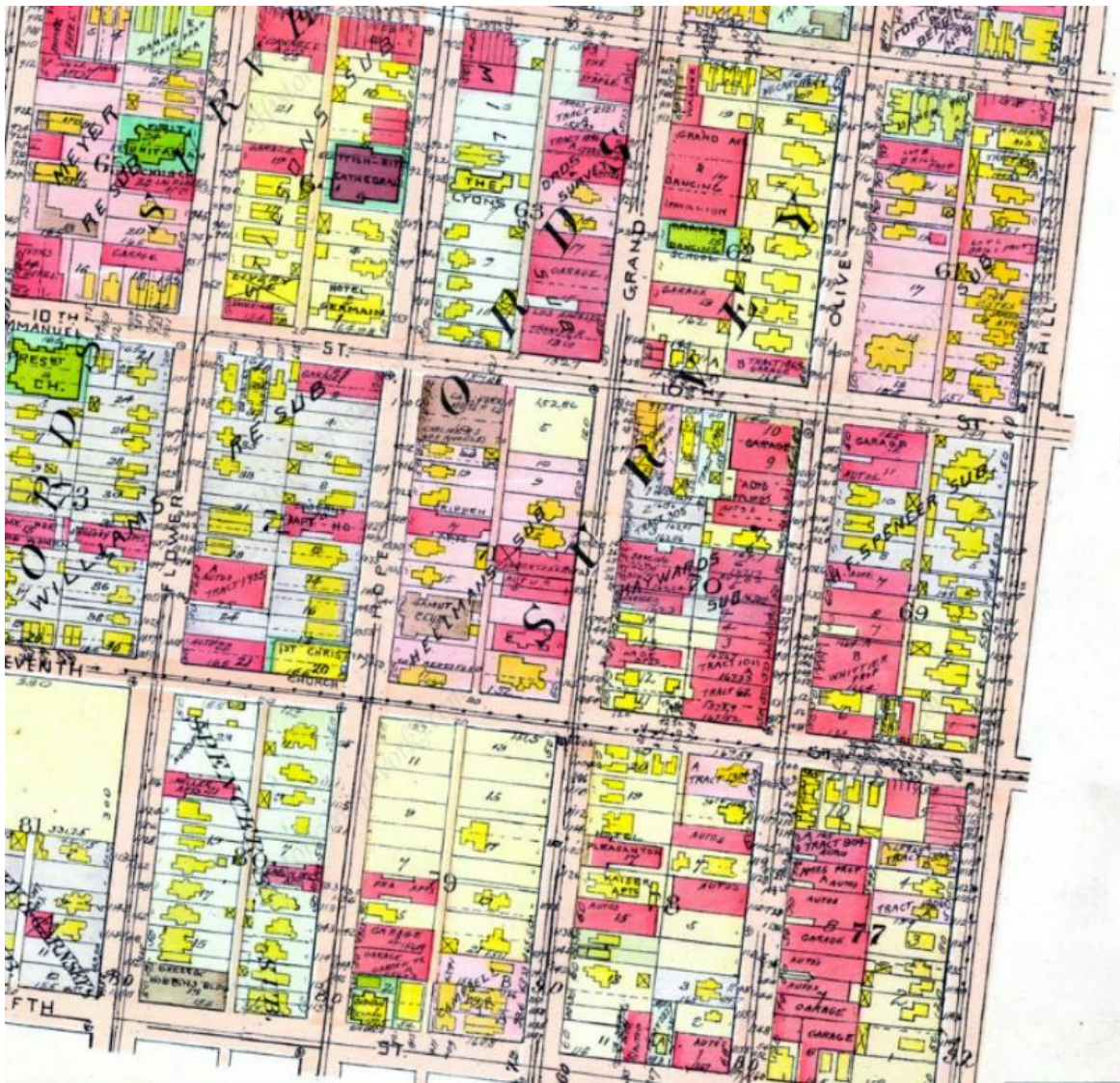


Figure 5. 1914 Baist Map, Plate 8, showing Auto Row north of 12th St.



Figure 6. 1921 Baist Map, Plate 8, showing Auto Row north of 12th St.

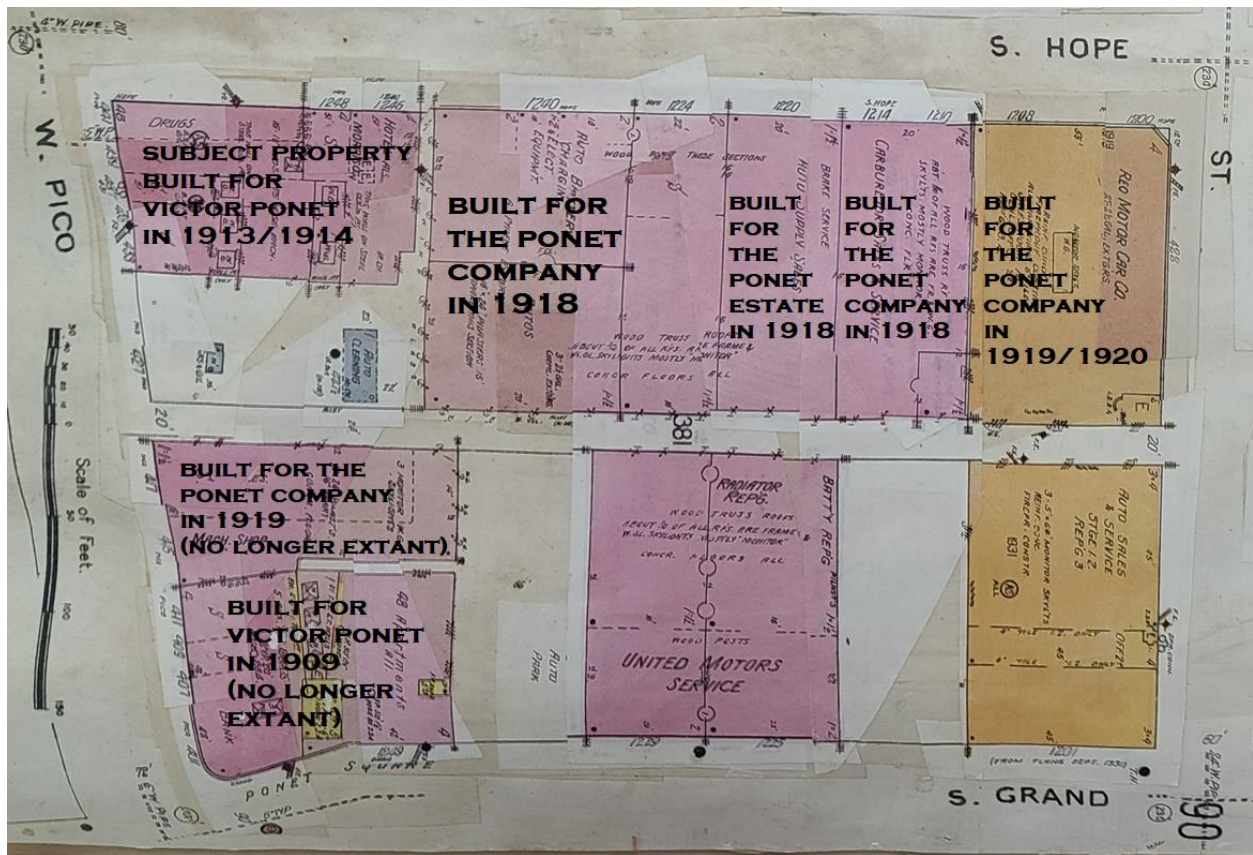


Figure 7. Buildings commissioned by the Ponets on Block 87 of Ord's Survey. (Added text superimposed onto a 1931 Sanborn map, but information reflects present conditions)

STATE California
COUNTY Los Angeles
TOWNSHIP OR OTHER DIVISION OF COUNTY Los Angeles Township

9-187

DEPARTMENT OF COMMERCE—BUREAU OF THE CENSUS

[D1-578]

FOURTEENTH CENSUS OF THE UNITED STATES: 1920—POPULATION

SUPERVISOR'S DISTRICT No. 8 SHEET No. 9 A
189 ENUMERATION DISTRICT No. 455

NAME OF INCORPORATED PLACE Los Angeles City
NAME OF INSTITUTION X
ENUMERATED BY ME ON THE 14-15 DAY OF January, 1920. Georgia Bailey ENUMERATOR.

BLOCK NUMBER	HOUSE NUMBER OR PLACE, etc. (in brackets)	NAME	RELATION	SEX	AGE	PERSONAL DESCRIPTION	CITIZENSHIP	EDUCATION	NATIVITY AND MOTHER TONGUE						OCCUPATION														
									Place of birth of each person and parents of each person enumerated. If born in the United States, give the state or territory. If of foreign birth, give the place of birth and, in addition, the mother tongue. (See instructions.)						Whether able to read and write English	Trade, profession, or particular kind of work done, as officer, salesman, laborer, etc.	Industry, business, or establishment in which work is done, as office, dry goods store, farm, etc.	Employer, name of, or name of firm or concern	Number of persons in household										
									PERSON.	FATHER.	MOTHER.	Place of birth.	Mother tongue.	Place of birth.						Mother tongue.									
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	
1249	28	71	Cassie, Gregory	Head	31	W	41	1974	24	1900	Yes	Yes	Canada	English	Canada	English	Canada	English	Canada	English	Canada	English	Canada	English	Yes	Sergeant	Police Dept.	W	1820
			Estimada, Daniel B.	Wife	34	D					Yes	Yes	Texas	English	Texas	English	Texas	English	Texas	English	Texas	English	Texas	English	Yes	Police Dept.	Police Dept.	W	2820
	72		Cassara, William H.	Head	33	W	44	1974	24	1905	Yes	Yes	Canada	English	Canada	English	Canada	English	Canada	English	Canada	English	Canada	English	Yes	Manager	Bank	W	3944
			William	Wife	31	W	44	1974	24	1905	Yes	Yes	Ireland	Irish	Ireland	Irish	Ireland	Irish	Ireland	Irish	Ireland	Irish	Ireland	Irish	Yes	Manager	Bank	W	4962
	73		Hershey, Mary	Head	33	W	44	1974	24	1905	Yes	Yes	New York	English	New York	English	New York	English	New York	English	New York	English	New York	English	Yes	Manager	Bank	W	5
			Forrest	Son	26	S					Yes	Yes	Missouri	English	Missouri	English	Missouri	English	Missouri	English	Missouri	English	Missouri	English	Yes	Manager	Bank	W	6
	74		Griggs, John H.	Head	34	W	39	1974	24	1905	Yes	Yes	Illinois	English	Illinois	English	Illinois	English	Illinois	English	Illinois	English	Illinois	English	Yes	Manager	Bank	W	7900
			William	Wife	31	S					Yes	Yes	Ohio	English	Ohio	English	Ohio	English	Ohio	English	Ohio	English	Ohio	English	Yes	Manager	Bank	W	8362
			Bird, Annie G.	Wife	31	S					Yes	Yes	Texas	English	Texas	English	Texas	English	Texas	English	Texas	English	Texas	English	Yes	Manager	Bank	W	9797
	75		Hain, Cassius V.	Head	33	W	44	1974	24	1905	Yes	Yes	Italy	Italian	Italy	Italian	Italy	Italian	Italy	Italian	Italy	Italian	Italy	Italian	Yes	Manager	Bank	W	10860
1246	29	77	Smith, Elsie	Wife	31	W	44	1974	24	1905	Yes	Yes	England	English	England	English	England	English	England	English	England	English	England	English	Yes	Manager	Bank	W	11
			Forrest	Son	26	S					Yes	Yes	England	English	England	English	England	English	England	English	England	English	England	English	Yes	Manager	Bank	W	12
			Griggs, John H.	Head	34	W	39	1974	24	1905	Yes	Yes	Canada	English	Canada	English	Canada	English	Canada	English	Canada	English	Canada	English	Yes	Manager	Bank	W	13
			William	Wife	31	S					Yes	Yes	Ohio	English	Ohio	English	Ohio	English	Ohio	English	Ohio	English	Ohio	English	Yes	Manager	Bank	W	14
			Bird, Annie G.	Wife	31	S					Yes	Yes	Illinois	English	Illinois	English	Illinois	English	Illinois	English	Illinois	English	Illinois	English	Yes	Manager	Bank	W	15
			Hain, Cassius V.	Head	33	W	44	1974	24	1905	Yes	Yes	Illinois	English	Illinois	English	Illinois	English	Illinois	English	Illinois	English	Illinois	English	Yes	Manager	Bank	W	16
			Smith, Elsie	Wife	31	W	44	1974	24	1905	Yes	Yes	Illinois	English	Illinois	English	Illinois	English	Illinois	English	Illinois	English	Illinois	English	Yes	Manager	Bank	W	17
			Forrest	Son	26	S					Yes	Yes	Illinois	English	Illinois	English	Illinois	English	Illinois	English	Illinois	English	Illinois	English	Yes	Manager	Bank	W	18
			Griggs, John H.	Head	34	W	39	1974	24	1905	Yes	Yes	Illinois	English	Illinois	English	Illinois	English	Illinois	English	Illinois	English	Illinois	English	Yes	Manager	Bank	W	19
			William	Wife	31	S					Yes	Yes	Illinois	English	Illinois	English	Illinois	English	Illinois	English	Illinois	English	Illinois	English	Yes	Manager	Bank	W	20
1247	30		Smith, Elsie	Wife	31	W	44	1974	24	1905	Yes	Yes	Illinois	English	Illinois	English	Illinois	English	Illinois	English	Illinois	English	Illinois	English	Yes	Manager	Bank	W	21
			Forrest	Son	26	S					Yes	Yes	Illinois	English	Illinois	English	Illinois	English	Illinois	English	Illinois	English	Illinois	English	Yes	Manager	Bank	W	22
			Griggs, John H.	Head	34	W	39	1974	24	1905	Yes	Yes	Illinois	English	Illinois	English	Illinois	English	Illinois	English	Illinois	English	Illinois	English	Yes	Manager	Bank	W	23
			William	Wife	31	S					Yes	Yes	Illinois	English	Illinois	English	Illinois	English	Illinois	English	Illinois	English	Illinois	English	Yes	Manager	Bank	W	24
			Bird, Annie G.	Wife	31	S					Yes	Yes	Illinois	English	Illinois	English	Illinois	English	Illinois	English	Illinois	English	Illinois	English	Yes	Manager	Bank	W	25
			Hain, Cassius V.	Head	33	W	44	1974	24	1905	Yes	Yes	Illinois	English	Illinois	English	Illinois	English	Illinois	English	Illinois	English	Illinois	English	Yes	Manager	Bank	W	26
			Smith, Elsie	Wife	31	W	44	1974	24	1905	Yes	Yes	Illinois	English	Illinois	English	Illinois	English	Illinois	English	Illinois	English	Illinois	English	Yes	Manager	Bank	W	27
			Forrest	Son	26	S					Yes	Yes	Illinois	English	Illinois	English	Illinois	English	Illinois	English	Illinois	English	Illinois	English	Yes	Manager	Bank	W	28
			Griggs, John H.	Head	34	W	39	1974	24	1905	Yes	Yes	Illinois	English	Illinois	English	Illinois	English	Illinois	English	Illinois	English	Illinois	English	Yes	Manager	Bank	W	29
			William	Wife	31	S					Yes	Yes	Illinois	English	Illinois	English	Illinois	English	Illinois	English	Illinois	English	Illinois	English	Yes	Manager	Bank	W	30
1248	31		Smith, Elsie	Wife	31	W	44	1974	24	1905	Yes	Yes	Illinois	English	Illinois	English	Illinois	English	Illinois	English	Illinois	English	Illinois	English	Yes	Manager	Bank	W	31
			Forrest	Son	26	S					Yes	Yes	Illinois	English	Illinois	English	Illinois	English	Illinois	English	Illinois	English	Illinois	English	Yes	Manager	Bank	W	32
			Griggs, John H.	Head	34	W	39	1974	24	1905	Yes	Yes	Illinois	English	Illinois	English	Illinois	English	Illinois	English	Illinois	English	Illinois	English	Yes	Manager	Bank	W	33
			William	Wife	31	S					Yes	Yes	Illinois	English	Illinois	English	Illinois	English	Illinois	English	Illinois	English	Illinois	English	Yes	Manager	Bank	W	34
			Bird, Annie G.	Wife	31	S					Yes	Yes	Illinois	English	Illinois	English	Illinois	English	Illinois	English	Illinois	English	Illinois	English	Yes	Manager	Bank	W	35
			Hain, Cassius V.	Head	33	W	44	1974	24	1905	Yes	Yes	Illinois	English	Illinois	English	Illinois	English	Illinois	English	Illinois	English	Illinois	English	Yes	Manager	Bank	W	36
			Smith, Elsie	Wife	31	W	44	1974	24	1905	Yes	Yes	Illinois	English	Illinois	English	Illinois	English	Illinois	English	Illinois	English	Illinois	English	Yes	Manager	Bank	W	37
			Forrest	Son	26	S					Yes	Yes	Illinois	English	Illinois	English	Illinois	English	Illinois	English	Illinois	English	Illinois	English	Yes	Manager	Bank	W	38
			Griggs, John H.	Head	34	W	39	1974	24	1905	Yes	Yes	Illinois	English	Illinois	English	Illinois	English	Illinois	English	Illinois	English	Illinois	English	Yes	Manager	Bank	W	39
			William	Wife	31	S					Yes	Yes	Illinois	English	Illinois	English	Illinois	English	Illinois	English	Illinois	English	Illinois	English	Yes	Manager	Bank	W	40
1249	32		Smith, Elsie	Wife	31	W	44	1974	24	1905	Yes	Yes	Illinois	English	Illinois	English	Illinois	English	Illinois	English	Illinois	English	Illinois	English	Yes	Manager	Bank	W	41
			Forrest	Son	26	S					Yes	Yes	Illinois	English	Illinois	English	Illinois	English	Illinois	English	Illinois	English	Illinois	English	Yes	Manager	Bank	W	42
			Griggs, John H.	Head	34	W	39	1974	24	1905	Yes	Yes	Illinois	English	Illinois	English	Illinois	English	Illinois	English	Illinois	English	Illinois	English	Yes	Manager	Bank	W	43
			William	Wife	31	S					Yes	Yes	Illinois	English	Illinois	English	Illinois	English	Illinois	English	Illinois	English	Illinois	English	Yes	Manager	Bank	W	44
			Bird, Annie G.	Wife	31	S					Yes	Yes	Illinois	English	Illinois	English	Illinois	English	Illinois	English	Illinois	English	Illinois	English	Yes	Manager	Bank	W	45
			Hain, Cassius V.	Head	33	W	44	1974	24	1905	Yes	Yes	Illinois	English	Illinois	English	Illinois	English	Illinois	English	Illinois	English	Illinois	English	Yes	Manager	Bank	W	46
			Smith, Elsie	Wife	31	W	44	1974	24	1905	Yes	Yes	Illinois	English	Illinois	English	Illinois	English	Illinois	English	Illinois	English	Illinois	English	Yes	Manager	Bank	W	47
			Forrest	Son	26	S					Yes	Yes	Illinois	English	Illinois	English	Illinois	English	Illinois	English	Illinois	English	Illinois	English	Yes	Manager	Bank	W	48
			Griggs, John H.	Head	34	W	39	1974	24	1905	Yes	Yes	Illinois	English	Illinois	English	Illinois	English	Illinois	English	Illinois	English	Illinois	English	Yes	Manager	Bank	W	49
			William	Wife	31	S					Yes	Yes	Illinois	English	Illinois	English	Illinois	English	Illinois	English	Illinois	English	Illinois	English	Yes	Manager	Bank	W	50

STATE California
COUNTY Los Angeles
TOWNSHIP OR OTHER DIVISION OF COUNTY Los Angeles Township
NAME OF INSTITUTION X

9-137

DEPARTMENT OF COMMERCE-BUREAU OF THE CENSUS

(D1-578)

FOURTEENTH CENSUS OF THE UNITED STATES: 1920-POPULATION

190

SUPERVISOR'S DISTRICT No. 8
ENUMERATION DISTRICT No. 455

SHEET No. 10 A

NAME OF INCORPORATED PLACE Los Angeles, CA

ENUMERATED BY ME ON THE 15-16 DAY OF January, 1920.

Georgia Lindley 75-41
ENUMERATOR.

PLACE OF ABODE.				NAME		RELATION.	SEX	AGE	PERSONAL DESCRIPTION.				CITIZENSHIP.				EDUCATION.				NATIVITY AND MOTHER TONGUE.						OCCUPATION.						
1	2	3	4	5	6				7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29		
Place of birth of each person and parents of each person enumerated. If born in the United States, give the state or territory. If of foreign birth, give the place of birth and, in addition, the mother tongue. (See instructions.)				Place of birth of each person and parents of each person enumerated. If born in the United States, give the state or territory. If of foreign birth, give the place of birth and, in addition, the mother tongue. (See instructions.)						Place of birth of each person and parents of each person enumerated. If born in the United States, give the state or territory. If of foreign birth, give the place of birth and, in addition, the mother tongue. (See instructions.)						Place of birth of each person and parents of each person enumerated. If born in the United States, give the state or territory. If of foreign birth, give the place of birth and, in addition, the mother tongue. (See instructions.)						Place of birth of each person and parents of each person enumerated. If born in the United States, give the state or territory. If of foreign birth, give the place of birth and, in addition, the mother tongue. (See instructions.)						Place of birth of each person and parents of each person enumerated. If born in the United States, give the state or territory. If of foreign birth, give the place of birth and, in addition, the mother tongue. (See instructions.)					
PERSON.				FATHER.						MOTHER.						MOTHER.						MOTHER.						MOTHER.					
Place of birth.				Place of birth.						Place of birth.						Place of birth.						Place of birth.						Place of birth.					
Mother tongue.				Mother tongue.						Mother tongue.						Mother tongue.						Mother tongue.						Mother tongue.					
19				20						21						22						23						24					
25				26						27						28						29						30					
Trade, profession, or particular kind of work done, as on census, military or naval service, etc.				Trade, profession, or particular kind of work done, as on census, military or naval service, etc.						Trade, profession, or particular kind of work done, as on census, military or naval service, etc.						Trade, profession, or particular kind of work done, as on census, military or naval service, etc.						Trade, profession, or particular kind of work done, as on census, military or naval service, etc.						Trade, profession, or particular kind of work done, as on census, military or naval service, etc.					
Employer, salary or wage received, or value of work done, etc.				Employer, salary or wage received, or value of work done, etc.						Employer, salary or wage received, or value of work done, etc.						Employer, salary or wage received, or value of work done, etc.						Employer, salary or wage received, or value of work done, etc.						Employer, salary or wage received, or value of work done, etc.					
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25				26						27						28						29						30					
25				26																													

State California Incorporated place Los Angeles City
County Los Angeles County Ward of city Block No. 185
Morrison Hotel
FIFTEENTH CENSUS OF THE UNITED STATES: 1930
POPULATION SCHEDULE
Morrison Hotel
Enumerated by me on April 16, 1930, Clarence Hug, Harney, Enumerator.

Table with 100 rows and 32 columns. Columns include: PLACE OF ABODE, NAME, RELATION, HOME DATA, PERSONAL DESCRIPTION, EDUCATION, PLACE OF BIRTH, MOTHER TONGUE, CITIZENSHIP, OCCUPATION AND INDUSTRY, CODE, EMPLOYMENT, and VETERANS. Rows list individuals such as Abruscato Anna, Howard Walter E, Manso Charles, Humphrey Alice, Hawley Frederick, Valenzuela John, Drummond Balrice, Hale Edgar G, Jordan Ed C, Simmons Ed W, Hubert William, E. Astor Walter W, Simmons Ed, Gurd E. and, Farnel Herman, Beck Joseph H, Lodge David H, Williams Thomas, Budge Perry, Clements Floyd, Support Ernest, Logan Eugene, McStay Frank, Abel Frank S, Vignale Frank, Stahl John, Meadows Evelyn, White Jane M, Edwards Mi, Sims William, Morris Robert, Pallacio Elizabeth, Lewis Selma, Phillips Jack, Shields Hugh J, Adams Wilford, Lermy Mary, Logan Cecilia, Williams Edgar, Peterson Carl, Peterson Anna C, Christman Emma, Thompson Fred, Halpin William, Hansen Ernest, Adams Sidney, Stiles Charles J, Anderson Harold, Prager Lennie, and Beichard Elizabeth.

ABBREVIATIONS TO BE USED IN COLUMNS INDICATED: (Use no abbreviations for State or country of birth or for mother tongue (Columns 24, 25, and 26).)

Col. 6-Religion: R Make no entry for families having no religion; use "W" for "None".

Col. 12-White: W

Col. 13-Black: B

Col. 14-Other: O

Col. 15-Other: O

Col. 16-Other: O

Col. 17-Other: O

Col. 18-Other: O

Col. 19-Other: O

Col. 20-Other: O

Col. 21-Other: O

Col. 22-Other: O

Col. 23-Other: O

Col. 24-Other: O

Col. 25-Other: O

Col. 26-Other: O

Col. 27-Other: O

Col. 28-Other: O

Col. 29-Other: O

Col. 30-Other: O

Col. 31-Other: O

Col. 32-Other: O

State California Incorporated place Los Angeles City
County Los Angeles County Ward of city _____ Block No. 185
Township or other division of county _____
(Insert proper name and also name of place, as township, town, precinct, district, etc. See instructions.)

Form 15-6
DEPARTMENT OF COMMERCE-BUREAU OF THE CENSUS
FIFTEENTH CENSUS OF THE UNITED STATES: 1930
POPULATION SCHEDULE

Enumeration District No. 19-348
Supervisor's District No. 17

Sheet No. 10
8A 3145

Institution Morrison Hotel - Line 1548 Enumerated by me on April 16, 1930, Clarence Hugo Harny, Enumerator.
(Insert name of institution, if any, and indicate the line on which the entries are made. See instructions.)

PLACE OF ABODE				NAME of each person whose place of abode on April 1, 1930, was in this family Enter surname first, then the given name and middle initial. Exclude every person living on April 1, 1930. Omit children born since April 1, 1929.	RELATION Relationship of this person to the head of the family	HOME DATA			PERSONAL DESCRIPTION				EDUCATION			PLACE OF BIRTH			MOTHER TONGUE (OR NATIVE LANGUAGE) OF FOREIGN BORN			CITIZENSHIP, ETC.			OCCUPATION AND INDUSTRY			EMPLOYMENT			VETERANS		
Line	Household	Institution	Married			Single	Age	Sex	Color or race	Married	Single	Grade	School	Year	Country	State	County	Language	Naturalized	Citizen	Year	Occupation	Industry	Code	Class	Whether actually employed (for the last regular working day)	Whether a veteran of the last regular war	When entered service	When discharged	When reentered service			
1	117			Kramer Walter	Lodger			M W 37						No	yes		Ohio	Ohio	Ohio	English				yes	Manager	Radio Shop	9791	E	yes				1
2				Burke M J	Lodger			F W 77						No	yes		Mississippi	Ireland	Ireland	Irish				yes	none								2
3				Markes John E	Lodger			M W 37						No	yes		Michigan	England	Michigan	Russian				yes	Salvador	New Cars	4587	W	yes				3
4				Wardman George	Lodger			M W 23						No	yes		Russia	Russia	Russia	Russian				yes	Manager	Store	9791	E	yes				4
5				Flynn William	Lodger			M W 33						No	yes		New York	United States	United States	English				yes	Chauffeur	Private	3996	W	yes				5
6				Winnmore M J	Lodger			M W 31						No	yes		Ireland	Ireland	Ireland	English				yes	Machine	Garage	7673	W	yes				6
7				Stewart William	Lodger			M W 35						No	yes		Scotland	Scotland	Scotland	English				yes	Machine	Machine	2088	W	yes				7
8				Myers Frank	Lodger			M W 35						No	yes		United States	United States	United States	English				yes	Laborer	General	7897	W	yes				8
9				Winnmore M J	Lodger			M W 31						No	yes		Ohio	Germany	Germany	German				yes	none								9
10				Smith Arthur	Lodger			M W 35						No	yes		England	England	England	English				yes	Foreman	Gas Company	7485	W	yes				10
11				Smith Bulla	Lodger			F W 38						No	yes		Scotland	Scotland	Scotland	English				yes	Housework	Private Home	7596	W	yes				11
12				Smith Joseph	Lodger			M W 30						No	yes		Bohemia	Bohemia	Bohemia	Bohemian				yes	Barber	Hotel	9597	W	yes				12
13				Armstrong Isaac	Lodger			M W 60						No	yes		Rhode Island	Rhode Island	Rhode Island	English				yes	none								13
14				Barney Raymond	Lodger			M W 22						No	yes		Illinois	Missouri	Illinois	English				yes	Driver	Barber	2988	W	yes				14
15				Valman Walter	Lodger			M W 44						No	yes		Wisconsin	Wisconsin	Wisconsin	English				yes	Accountant	Bank	6682	W	yes				15
16				Mc Ginn Samuel	Lodger			M W 40						No	yes		Ohio	Ohio	Ohio	English				yes	Electrician	Shop	1893	W	yes				16
17				Goodman Roy	Lodger			M W 36						No	yes		Massachusetts	Massachusetts	Massachusetts	English				yes	none								17
18				Bennett John	Lodger			M W 42						No	yes		United States	United States	United States	English				yes	Salvador	Hardware Store	4597	W	yes				18
19				Swan Ruth	Lodger			F W 40						No	yes		Oregon	Maine	Maine	English				yes	Waitress	Restaurant	6194	W	yes				19
20				Swan Earl	Lodger			M W 38						No	yes		Missouri	New York	Missouri	English				yes	Bank	Bank	7885	W	yes				20
21				Bennett George	Lodger			M W 43						No	yes		Mexico	United States	United States	English				yes	Salvador	Hardware Store	4597	W	yes				21
22				Widener John H	Lodger			M W 40						No	yes		New York	Ireland	Ireland	English				yes	Sight Painter	Sight Shop	2881	W	yes				22
23				Williams Thomas	Lodger			M W 41						No	yes		England	England	England	English				yes	none								23
24				Bachman Geo D	Lodger			F W 36						No	yes		Texas	New York	Canada	English				yes	none								24
25				Bachman Billie	Lodger			F W 55						No	yes		California	California	California	English				yes	none								25
26				Wynn William	Lodger			M W 39						No	yes		California	New York	New York	English				yes	none								26
27				Wynn William	Lodger			M W 36						No	yes		Illinois	Illinois	Illinois	English				yes	Printer	Printing Shop	6147	W	yes				27
28				Winnmore M J	Lodger			M W 35						No	yes		Illinois	Illinois	Illinois	English				yes	Attendant	Station	4587	W	yes				28
29				Zimmerman Edward	Lodger			M W 51						No	yes		Virginia	Virginia	Virginia	English				yes	Machine	Garage	7612	W	yes				29
30				Winnmore M J	Lodger			M W 41						No	yes		Illinois	Illinois	Illinois	English				yes	none								30
31				Winnmore M J	Lodger			M W 42						No	yes		Illinois	Illinois	Illinois	English				yes	none								31
32				Winnmore M J	Lodger			M W 43						No	yes		Illinois	Illinois	Illinois	English				yes	none								32
33				Winnmore M J	Lodger			M W 44						No	yes		Illinois	Illinois	Illinois	English				yes	none								33
34				Winnmore M J	Lodger			M W 45						No	yes		Illinois	Illinois	Illinois	English				yes	none								34
35				Winnmore M J	Lodger			M W 46						No	yes		Illinois	Illinois	Illinois	English				yes	none								35
36				Winnmore M J	Lodger			M W 47						No	yes		Illinois	Illinois	Illinois	English				yes	none								36
37				Winnmore M J	Lodger			M W 48						No	yes		Illinois	Illinois	Illinois	English				yes	none								37
38				Winnmore M J	Lodger			M W 49						No	yes		Illinois	Illinois	Illinois	English				yes	none								38
39				Winnmore M J	Lodger			M W 50						No	yes		Illinois	Illinois	Illinois	English				yes	none								39
40				Winnmore M J	Lodger			M W 51						No	yes		Illinois	Illinois	Illinois	English				yes	none								40
41				Winnmore M J	Lodger			M W 52						No	yes		Illinois	Illinois	Illinois	English				yes	none								41
42				Winnmore M J	Lodger			M W 53						No	yes		Illinois	Illinois	Illinois	English				yes	none								42
43				Winnmore M J	Lodger			M W 54						No	yes		Illinois	Illinois	Illinois	English				yes	none								43
44				Winnmore M J	Lodger			M W 55						No	yes		Illinois	Illinois	Illinois	English				yes	none								44
45				Winnmore M J	Lodger			M W 56						No	yes		Illinois	Illinois	Illinois	English				yes	none								45
46				Winnmore M J	Lodger			M W 57						No	yes		Illinois	Illinois	Illinois	English				yes	none								46
47				Winnmore M J	Lodger			M W 58						No	yes		Illinois	Illinois	Illinois	English				yes	none								47
48				Winnmore M J	Lodger			M W 59						No	yes		Illinois	Illinois	Illinois	English				yes	none								48
49				Winnmore M J	Lodger			M W 60						No	yes		Illinois	Illinois	Illinois	English				yes	none								49
50				Winnmore M J	Lodger			M W 61						No	yes		Illinois	Illinois	Illinois	English				yes	none								50

ABBREVIATIONS TO BE USED IN COLUMNS INDICATED: (See no abbreviations for State or country of birth or of mother tongue. Columns 15, 16, 17, and 18.)

Col. 6-Indicates the home-maker in each family having no other person in the household. (See instructions.)

Col. 7-Indicates the head of the family. (See instructions.)

Col. 8-Indicates the head of the family. (See instructions.)

Col. 9-Indicates the head of the family. (See instructions.)

Col. 10-Indicates the head of the family. (See instructions.)

Col. 11-Indicates the head of the family. (See instructions.)

Col. 12-Indicates the head of the family. (See instructions.)

Col. 13-Indicates the head of the family. (See instructions.)

Col. 14-Indicates the head of the family. (See instructions.)

Col. 15-Indicates the head of the family. (See instructions.)

Col. 16-Indicates the head of the family. (See instructions.)

Col. 17-Indicates the head of the family. (See instructions.)

Col. 18-Indicates the head of the family. (See instructions.)

Col. 19-Indicates the head of the family. (See instructions.)

Col. 20-Indicates the head of the family. (See instructions.)

Col. 21-Indicates the head of the family. (See instructions.)

Col. 22-Indicates the head of the family. (See instructions.)

Col. 23-Indicates the head of the family. (See instructions.)

Col. 24-Indicates the head of the family. (See instructions.)

Col. 25-Indicates the head of the family. (See instructions.)

Col. 26-Indicates the head of the family. (See instructions.)

Col. 27-Indicates the head of the family. (See instructions.)

Col. 28-Indicates the head of the family. (See instructions.)

Col. 29-Indicates the head of the family. (See instructions.)

Col. 30-Indicates the head of the family. (See instructions.)

Col. 31-Indicates the head of the family. (See instructions.)

Col. 32-Indicates the head of the family. (See instructions.)

Col. 33-Indicates the head of the family. (See instructions.)

Col. 34-Indicates the head of the family. (See instructions.)

Col. 35-Indicates the head of the family. (See instructions.)

Col. 36-Indicates the head of the family. (See instructions.)

Col. 37-Indicates the head of the family. (See instructions.)

Col. 38-Indicates the head of the family. (See instructions.)

Col. 39-Indicates the head of the family. (See instructions.)

Col. 40-Indicates the head of the family. (See instructions.)

Col. 41-Indicates the head of the family. (See instructions.)

Col. 42-Indicates the head of the family. (See instructions.)

Col. 43-Indicates the head of the family. (See instructions.)

Col. 44-Indicates the head of the family. (See instructions.)

Col. 45-Indicates the head of the family. (See instructions.)

Col. 46-Indicates the head of the family. (See instructions.)

Col. 47-Indicates the head of the family. (See instructions.)

Col. 48-Indicates the head of the family. (See instructions.)

Col. 49-Indicates the head of the family. (See instructions.)

Col. 50-Indicates the head of the family. (See instructions.)

ENTRIES ARE REQUIRED IN THE SEVERAL COLUMNS AS FOLLOWS:

Col. 1-For all persons 15 years of age and over.

Col. 2-For all persons 15 years of age and over.

Col. 3-For all persons 15 years of age and over.

Col. 4-For all persons 15 years of age and over.

Col. 5-For all persons 15 years of age and over.

Col. 6-For all persons 15 years of age and over.

Col. 7-For all persons 15 years of age and over.

Col. 8-For all persons 15 years of age and over.

Col. 9-For all persons 15 years of age and over.

Col. 10-For all persons 15 years of age and over.

Col. 11-For all persons 15 years of age and over.

Col. 12-For all persons 15 years of age and over.

Col. 13-For all persons 15 years of age and over.

Col. 14-For all persons 15 years of age and over.

Col. 15-For all persons 15 years of age and over.

Col. 16-For all persons 15 years of age and over.

Col. 17-For all persons 15 years of age and over.

Col. 18-For all persons 15 years of age and over.

Col. 19-For all persons 15 years of age and over.

Col. 20-For all persons 15 years of age and over.

Col. 21-For all persons 15 years of age and over.

Col. 22-For all persons 15 years of age and over.

Col. 23-For all persons 15 years of age and over

Sheet No.
85A

LOCATION	HOUSEHOLD DATA	NAME	RELATION	PERSONAL DESCRIPTION	EDUCATION	PLACE OF BIRTH	RESIDENCE, APRIL 1, 1935	PERSONS 14 YEARS OLD AND OVER—EMPLOYMENT STATUS
----------	----------------	------	----------	----------------------	-----------	----------------	--------------------------	---

Check, if borrower could, on next page

5. VALUE OF HOME, IF OWNED
Where owner's household occupies only a part of a structure, estimate value of portion occupied by owner's household. Thus the value of the unit occupied by the owner of a two-family house might be approximately one-half

U. S. GOVERNMENT PRINTING OFFICE 16-11576

POPULATION SCHEDULE

Enumerated by me on Apr. 8 & 9, 1940. 85 B

Check, if household owned, on next page.

[illegible]

Sheet No.

Enumerator

Check
if house
contd.
next p.

FOR OFFICE USE ONLY—DO NOT WRITE IN THESE COLUMNS

[illegible]

Col. 41. WAR OR MILITARY SERVICE: W
World War

Wage or salary worker in private work.....	FW	Spanish-American War, Philippine Insurrection, or Boxer Rebellion.....	5
Wage or salary worker in Government work.....	GW	Spanish-American War and World War.....	5W
Employer.....	E	European war (Army, Navy, or Marine Corps) peace-time service only.....	5
Working on own account.....	OA		

★ 1950 Census of the United States ★

Sheet 1 line 1

TYPE 2

U.S. DEPARTMENT OF COMMERCE
BUREAU OF THE CENSUS

PORTFOLIO CONTROL LABEL
SEVENTEENTH CENSUS OF THE UNITED STATES, 1950

State **CALIFORNIA** 93 E. D. No **66-1931**

County **LOS ANGELES**

Incorporated place **LOS ANGELES**

Unincorporated place

Division of county (M. C. D.)

(Territory, precinct, or other division of county)

ENUMERATOR: NAME ADDRESS TELEPHONE NO.

SECTION I—FOR FIELD OFFICE USE ONLY

OPERATION	ITEM NO.	CLERK	DATE COMPLETED
Pay-roll count	1		
Verification of pay-roll count	2		
Final count	3	<i>Robert Hoover Jr</i>	<i>7/1/50</i>
Verification of final count	4	<i>S. S. Allen</i>	<i>5/10/50</i>
	5		
	6		
	7		
Portfolio prepared for shipment	8	<i>J. E. Miller</i>	<i>6/15/50</i>

COMPLETED SCHEDULES SHIPPED IN THIS PORTFOLIO	
TYPE	NUMBER
Population	2
ICR's	0
Infant	0
Agriculture	0
Landlord-tenant	0
Irrigation	0
Special agriculture	0

FINAL FIELD COUNTS

Persons on population schedules **55**

Persons on ICR's

Total persons

Dwelling units on population schedules

SECTION II—FOR WASHINGTON OFFICE USE ONLY

Population transcribed from ICR's

Total population **56**

OPERATIONS	ITEM NO.	SECTION	CLERK	DATE COMPLETED
Receipt and examination of schedules	1		<i>W. H. Allen</i>	
General coding—Part I	2		<i>W. H. Allen</i>	<i>5-20-51</i>
Verification of general coding—Part I	3			
General coding—Part II <i>Q. 1-21-25</i>	4	<i>43</i>	<i>Campbell 00963</i>	<i>3-20-51</i>
Verification of general coding—Part II	5	<i>43</i>	<i>W. H. Allen 10216</i>	<i>3/20/51</i>
Occupation coding <i>Q. 1</i>	6	<i>01</i>	<i>W. H. Allen 12762</i>	<i>1/15/51</i>
Verification of occupation coding	7	<i>01</i>	<i>W. H. Allen 12762</i>	<i>1-15-51</i>
	8			
	9			
Key punch—Population	10	<i>121</i>		<i>5-23-51</i>
Verification of key punch—Population	11	<i>121</i>		<i>5-23-51</i>
Key punch—Housing	12	<i>812</i>		<i>5-23-51</i>
Verification of key punch—Housing	13	<i>812</i>		<i>5-23-51</i>
<i>Int</i>	14			
<i>Sum</i>	15	<i>81</i>	<i>W. H. Allen</i>	<i>7-8</i>
	16			
	17	<i>81</i>	<i>W. H. Allen</i>	<i>7-8</i>
	18			

NOTICE TO FINDER: THIS PORTFOLIO IS THE PROPERTY OF THE UNITED STATES GOVERNMENT
Please Mail to Census Office Shown Below. Prepayment of Postage is NOT Required

FROM: (Finder's name and address)

1550

Postage Will Be Paid by Addressee

No Postage Stamp Necessary If Mailed in the United States

POSTAGE DUE _____ CENTS

To be collected on delivery to addressee—by authority of the Third Assistant Postmaster General

(Census District Office Stamp to be applied below)

TO:

BUREAU OF THE CENSUS
DISTRICT OFFICE
1206 SOUTH SANTEE STREET
LOS ANGELES 15, CALIFORNIA

15-50075-3

1. STATE: CALIFORNIA 2. COUNTY: LOS ANGELES 3. INCORPORATED PLACE OR TOWNSHIP: LOS ANGELES 4. DATE OF BIRTH: 6-6-1931 5. NAME: MORRISON 6. TYPE: T-NITE PERMANENT 7. DATE SHEET STARTED: APRIL 11 8. SHEET NUMBER: 1 9. U. S. DEPARTMENT OF COMMERCE BUREAU OF THE CENSUS 1950 CENSUS OF POPULATION AND HOUSING 10. 11. 12. 13. 14. 15. 16. 17. 18. 19. 20. 21. 22. 23. 24. 25. 26. 27. 28. 29. 30. 31. 32. 33. 34. 35. 36. 37. 38. 39. 40. 41. 42. 43. 44. 45. 46. 47. 48. 49. 50. 51. 52. 53. 54. 55. 56. 57. 58. 59. 60. 61. 62. 63. 64. 65. 66. 67. 68. 69. 70. 71. 72. 73. 74. 75. 76. 77. 78. 79. 80. 81. 82. 83. 84. 85. 86. 87. 88. 89. 90. 91. 92. 93. 94. 95. 96. 97. 98. 99. 100.

FOR HEAD OF HOUSEHOLD										FOR ALL PERSONS										FOR PERSONS 14 YEARS OF AGE AND OVER									
NAME	RELATIONSHIP	RACE	SEX	AGE	DATE OF BIRTH	PLACE OF BIRTH	DATE OF ENTRY	DATE OF DEPARTURE	DATE OF RETURN	NAME	RELATIONSHIP	RACE	SEX	AGE	DATE OF BIRTH	PLACE OF BIRTH	DATE OF ENTRY	DATE OF DEPARTURE	DATE OF RETURN	NAME	RELATIONSHIP	RACE	SEX	AGE	DATE OF BIRTH	PLACE OF BIRTH	DATE OF ENTRY	DATE OF DEPARTURE	DATE OF RETURN
BUSH, JACK C.	Head	W	M	36	NOV	OKLAHOMA	1913	WK	40	STEEL WORK	DANCE STAGE	P	390 669 1	1	1246	205	1246	205	1246	205	1246	205	1246	205	1246	205	1246	205	
CHATCHEFF, ISRAEL M.	Head	W	M	65	SEP	RUSSIA	1955	WK	25	SEWING MACHINE OPERATOR	SHIRT FACTORY	P	690 498 1	2	1246	203	1246	203	1246	203	1246	203	1246	203	1246	203	1246	203	
CROH, DIXIE M.	Head	W	F	23	D	MISSOURI	1933	WK	40	WAITRESS	RESTAURANT	P	784 679 1	3	1246	207	1246	207	1246	207	1246	207	1246	207	1246	207	1246	207	
EMERSON, CATHERINE M.	Head	W	F	33	SEP	ILLINOIS	1933	OT	No	No	No	No	No	No	No	No	No	No	No	No	No	No	No	No	No	No	No		
CUMMINGS, MARY H.	Head	W	F	56	NOV	MASSACHUSETTS	1914	OT	No	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes		
EDWARDS, ALFRED H.	Head	W	M	57	MAR	MASSACHUSETTS	1914	WK	38	PAINTER	NEWSPAPER CO.	P	512 459 1	4	1246	216	1246	216	1246	216	1246	216	1246	216	1246	216	1246	216	
JOHNSON, MARIE W.	Head	W	F	45	MAR	PENNSYLVANIA	1905	OT	No	No	No	No	No	No	No	No	No	No	No	No	No	No	No	No	No	No	No		
PROCTOR, GEORGE E.	Head	W	M	61	SEP	GREECE	1914	Yes	WK	48	CANDY MAKER	DEPT STORE	P	690 696 1	5	1246	205	1246	205	1246	205	1246	205	1246	205	1246	205		
ODOM, HOMER S.	Head	W	M	46	D	TEXAS	1914	WK	40	WAITER	RESTAURANT	P	784 679 1	6	1246	205	1246	205	1246	205	1246	205	1246	205	1246	205	1246	205	
MELTZER, ALVIN	Head	W	M	71	NOV	GERMANY	1914	Yes	U	Yes	U	Yes	U	Yes	U	Yes	U	Yes	U	Yes	U	Yes	U	Yes	U	Yes	U		
ROSE, EUGENE J.	Head	W	M	61	NOV	NORTH DAKOTA	1914	OT	No	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes		
NIELSEN, NORMAN B.	Head	W	M	63	D	IOWA	1914	WK	48	PROMOTER	TOURNAMENT OF ROSES	O	390 859 3	7	1246	227	1246	227	1246	227	1246	227	1246	227	1246	227	1246	227	
M'LEOD, GEORGE M.	Head	W	M	49	D	MONTANA	1914	WK	15	HOTEL CLERK	HOTEL	P	390 836 1	8	1246	227	1246	227	1246	227	1246	227	1246	227	1246	227	1246	227	
WALKER, EDWIN P.	Head	W	M	44	D	OHIO	1914	OT	No	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes		
WALKER, JOSEPH V.	Head	W	M	52	NOV	ENGLAND	1914	No	WK	48	COOK/NEAPER	CLUB RESTAURANT	P	790 674 1	9	1246	205	1246	205	1246	205	1246	205	1246	205	1246	205		
STEWART, PAUL J.	Head	W	M	52	SEP	KANSAS	1914	WK	40	CLERK	FEDERAL GOVT.	G	390 946 2	10	1246	233	1246	233	1246	233	1246	233	1246	233	1246	233	1246	233	
M'CLAIN, DONALD J.	Head	W	M	54	D	PENNSYLVANIA	1914	WK	40	STEEL WORK	TENNESSEE	P	690 859 1	11	1246	205	1246	205	1246	205	1246	205	1246	205	1246	205	1246	205	
NAIMAN, HERMAN A.	Head	W	M	54	MAR	NEBRASKA	1914	WK	60	HOTEL MANAGER	HOTEL	O	290 836 3	12	1246	205	1246	205	1246	205	1246	205	1246	205	1246	205	1246	205	
MARTIN, M.	Head	W	F	48	MAR	NEBRASKA	1914	WK	60	ASSIST. HOTEL MANAGER	HOTEL	O	290 836 3	13	1246	205	1246	205	1246	205	1246	205	1246	205	1246	205	1246	205	
FRANK, B.	Head	W	M	3	NOV	CALIF.	1914	WK	48	HOTEL ROOM CLERK	HOTEL	P	390 836 1	14	1246	300	1246	300	1246	300	1246	300	1246	300	1246	300	1246	300	
NAIMAN, HERMAN A. JR.	Head	W	M	18	NOV	CALIF.	1914	WK	60	SALESMAN	MEDICAL EQUIPMENT FACTORY	P	490 386 1	15	1246	300	1246	300	1246	300	1246	300	1246	300	1246	300	1246	300	
WALKER, WILLIAM D.	Head	W	M	83	NOV	IOWA	1914	OT	No	No	No	No	No	No	No	No	No	No	No	No	No	No	No	No	No	No	No		
JOHNSON, CHARLES T.	Head	W	M	62	D	SWEDEN	1914	Yes	WK	60	SALESMAN	PHARMACY	P	490 386 1	16	1246	307	1246	307	1246	307	1246	307	1246	307	1246	307		
ATKINSON, DORIS K.	Head	W	F	23	D	CALIF.	1914	OT	No	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes		
KENNEDY, ROSE	Head	W	F	81	NOV	ILLINOIS	1914	OT	No	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes		
BARK, HAROLD	Head	W	M	51	D	RUSSIA	1914	OT	No	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes		
ROACH, FRED H.	Head	W	M	53	SEP	KENTUCKY	1914	OT	No	No	No	No	No	No	No	No	No	No	No	No	No	No	No	No	No	No	No		
M'CALLISTER, RAYMOND J.	Head	W	M	67	NOV	MINNESOTA	1914	OT	No	No	No	No	No	No	No	No	No	No	No	No	No	No	No	No	No	No	No		
HOPPER, WALTER G.	Head	W	M	67	D	ILLINOIS	1914	WK	8	SALESMAN	PAINTS CO.	O	490 458 3	17	1246	307	1246	307	1246	307	1246	307	1246	307	1246	307	1246	307	

HOUSEHOLD CONTINUED ON NEXT SHEET ☐ Note: 1.1 DIDN'T KNOW IF TEN 30, LINE 26

THE QUESTIONS BELOW ARE FOR PERSONS LISTED ON SAMPLE LINES

FOR ALL AGES

FOR PERSONS 14 YEARS OF AGE AND OVER

1. Was living in this house a year ago? 2. Was living in this house a year ago? 3. Was living in this house a year ago? 4. Was living in this house a year ago? 5. Was living in this house a year ago? 6. Was living in this house a year ago? 7. Was living in this house a year ago? 8. Was living in this house a year ago? 9. Was living in this house a year ago? 10. Was living in this house a year ago? 11. Was living in this house a year ago? 12. Was living in this house a year ago? 13. Was living in this house a year ago? 14. Was living in this house a year ago? 15. Was living in this house a year ago? 16. Was living in this house a year ago? 17. Was living in this house a year ago? 18. Was living in this house a year ago? 19. Was living in this house a year ago? 20. Was living in this house a year ago? 21. Was living in this house a year ago? 22. Was living in this house a year ago? 23. Was living in this house a year ago? 24. Was living in this house a year ago? 25. Was living in this house a year ago? 26. Was living in this house a year ago? 27. Was living in this house a year ago? 28. Was living in this house a year ago? 29. Was living in this house a year ago? 30. Was living in this house a year ago? 31. Was living in this house a year ago? 32. Was living in this house a year ago? 33. Was living in this house a year ago? 34. Was living in this house a year ago? 35. Was living in this house a year ago? 36. Was living in this house a year ago? 37. Was living in this house a year ago? 38. Was living in this house a year ago? 39. Was living in this house a year ago? 40. Was living in this house a year ago? 41. Was living in this house a year ago? 42. Was living in this house a year ago? 43. Was living in this house a year ago? 44. Was living in this house a year ago? 45. Was living in this house a year ago? 46. Was living in this house a year ago? 47. Was living in this house a year ago? 48. Was living in this house a year ago? 49. Was living in this house a year ago? 50. Was living in this house a year ago? 51. Was living in this house a year ago? 52. Was living in this house a year ago? 53. Was living in this house a year ago? 54. Was living in this house a year ago? 55. Was living in this house a year ago? 56. Was living in this house a year ago? 57. Was living in this house a year ago? 58. Was living in this house a year ago? 59. Was living in this house a year ago? 60. Was living in this house a year ago? 61. Was living in this house a year ago? 62. Was living in this house a year ago? 63. Was living in this house a year ago? 64. Was living in this house a year ago? 65. Was living in this house a year ago? 66. Was living in this house a year ago? 67. Was living in this house a year ago? 68. Was living in this house a year ago? 69. Was living in this house a year ago? 70. Was living in this house a year ago? 71. Was living in this house a year ago? 72. Was living in this house a year ago? 73. Was living in this house a year ago? 74. Was living in this house a year ago? 75. Was living in this house a year ago? 76. Was living in this house a year ago? 77. Was living in this house a year ago? 78. Was living in this house a year ago? 79. Was living in this house a year ago? 80. Was living in this house a year ago? 81. Was living in this house a year ago? 82. Was living in this house a year ago? 83. Was living in this house a year ago? 84. Was living in this house a year ago? 85. Was living in this house a year ago? 86. Was living in this house a year ago? 87. Was living in this house a year ago? 88. Was living in this house a year ago? 89. Was living in this house a year ago? 90. Was living in this house a year ago? 91. Was living in this house a year ago? 92. Was living in this house a year ago? 93. Was living in this house a year ago? 94. Was living in this house a year ago? 95. Was living in this house a year ago? 96. Was living in this house a year ago? 97. Was living in this house a year ago? 98. Was living in this house a year ago? 99. Was living in this house a year ago? 100. Was living in this house a year ago?

This inquiry is authorized by Act of Congress (48 Stat. 51; 12 U. S. C. 20a-22a) which requires that a report be made. The information furnished is accorded confidential treatment. The Census report cannot be used for purposes of taxation, investigation, or regulation.

CONFIDENTIAL

FORM
P1

U. S. DEPARTMENT OF COMMERCE
BUREAU OF THE CENSUS

16-50902-1

1950 CENSUS OF POPULATION AND HOUSING

1. DATE SHEET STARTED April 11, 1950

g. ENUMERATOR'S SIGNATURE William Boyce 201102

h. CHECKED BY _____

(Please Insert) _____ on _____, 1950

SHEET NUMBER 2

[illegible]

THE QUESTIONS BELOW ARE FOR PERSONS LISTED ON SAMPLE LINES

[illegible]

APPENDIX 3. VICTOR PONET



Figure 8. Portrait of Victor Ponet. Courtesy of FindAGrave.com.



Figure 9. Advertisement. *Los Angeles Daily News*, 13 April 1870.

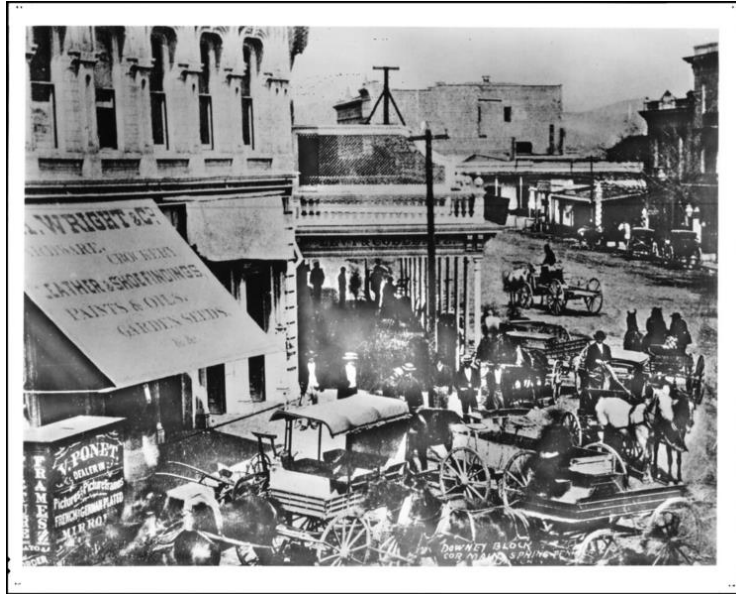


Figure 10. Traffic at the northwest corner of Downey Block at Main Street looking north from Temple Block, ca. 1873–1878. A sign advertising V. Ponet’s picture-frame shop is visible on the bottom left. University of Southern California Digital Library, Title Insurance and Trust and C.C. Pierce Photography Collection 1860–1960, Los Angeles, CA.

**VICTOR PONET,
PIONEER UNDERTAKER**

66 Main St., Los Angeles, Cal.

Keeds on hand the Largest and Best Assortment of

Metalic and Wooden Coffins, Shrouds, Trimmings, etc., etc.,

In this City, direct from the East. Dealers in the country will find it to their interest to give him a call, as he will sell goods

Cheaper than they can get them in San Francisco.

FULL CHARGE TAKEN OF FUNERALS.

Bodies Embalmed for Shipment East.

All orders by telegraph promptly attended to. The finest

Hearse in Southern California.

mrl7tf

Figure 11. Advertisement. *Los Angeles Herald*, 17 March 1875.

SOLE AGENTS
—FOR—
BARSTOW'S PATENT
METALLIC
Burial Cases
AND
CASEETS.
TERMS CASH.
Payable in U. S. Gold Coin.

V. PONET,
S. P. ORR.

IMPORTERS OF ALL VARIETIES OF BURIAL CASES

Los Angeles, Cal., March 28 1884

M. S. Montague

PONET & ORR, Jr.
EMBALMERS & UNDERTAKERS.
Special Attention Given to Embalming Bodies for Shipment.
No. 47 NORTH SPRING STREET.

To Case & Box & Hears	80 00
Embalming Fluid	2 00
Crape & Flowers	2 00
Shroud	8 00
4 Hear Rs	20 00
Grave	6 00
	<hr/>
	\$ 118 00
Recd Payment Ponet & Orr	

Figure 12. Bill from Ponet & Orr Embalmers and Undertakers. 1884. The Homestead Museum, City of Industry, CA.

MADAME V. PONET,
Has returned from New York with the Latest Paris Importations of
French Bonnets, Flowers, Feathers
and the Most Unique Novelties in
GENERAL MILLINERY GOODS,
Ever brought to this city. The Ladies are invited to call and see my Stock.
oct1-3m MADAME V. PONET, 76 Main Street, Los Angeles, Cal.

Figure 13. Advertisement. *Los Angeles Times*, 6 October 1882.

5, 6 and 7, blk 31, Pomona; \$200.
Farmers' and Merchants' Bank to Mrs
N J Ponet, wife of Victor Ponet, as her
separate property—Blk 87, Ord's survey;
\$2855.
T R Crawford to Edwin Van Dusen—

Figure 14. *Los Angeles Evening Express*, 23 November 1880.



Figure 15. Dick Whittington Studio. Ponet Square Hotel. 1924. University of Southern California Digital Library, “Dick” Whittington Photography Collection, 1924–1987, Los Angeles, CA.

**VICTOR PONET FUNERAL
TAKES PLACE TUESDAY**

Requiem Mass at St. Vibiana's
Cathedral at 9 o'clock for
Former Consul

Victor Ponet, Los Angeles pioneer and capitalist, who passed away at his home in Hollywood Saturday night, will be buried in Calvary cemetery tomorrow, following a requiem mass which will be sung in St. Vibiana's cathedral at 9 o'clock.

Mr. Ponet came to Los Angeles in 1869 from Ulbeck, Belgium. He was greatly impressed with the future possibilities of Southern California and invested extensively in real estate in the vicinity of Los Angeles, which at that time had a population of scarcely 4000. Later Mr. Ponet engaged in the importing and manufacturing business, giving up this enterprise within a few years to open an undertaking establishment.

He was appointed consular agent for Belgium in January, 1894, and a few years later was given the post of vice-consul for Belgium in Southern California. He was knighted by King Leopold as Chevalier de l'Ordre de Leopold in 1896.

Mr. Ponet was identified with the forming of the German American Savings bank and for three years served as president of that institution. He was a director of the bank at the time of his death.

Mr. Ponet is survived by a widow, a daughter, Mrs. Frances Montgomery, and a son, Rev. William Ponet, C. M., of St. Louis.

**VICTOR PONET'S
WIDOW IS DEAD.**

*Pioneer Woman was Active in
Charitable Work.*

*Estate Embraces Valuable
Realty Holdings.*

*Husband was Belgian Consul
for Many Years.*

Mrs. Nellie Manning Ponet, widow of the late Victor Ponet, for many years Belgian consul at Los Angeles, one of the city's pioneers and extensive land-holders, died just after midnight yesterday at the Ponet residence in Sherman.

The funeral services will be held at St. Vibiana's Cathedral at 10 o'clock Saturday morning. A solemn requiem mass will be celebrated, with Mgr. P. Harnett as celebrant, and the interment will be in Calvary Cemetery.

Mrs. Ponet had passed her seventieth year, and for the last two years had been an invalid. In the earlier years she was widely known in Los Angeles and vicinity, and especially in the Cathedral parish, for her charitable and benevolent work. Mr. and Mrs. Ponet came to Los Angeles nearly half a century ago. For many years their home was on a ranch in the southwest, the residence being about the present location of Alvarado and Pico streets. Later Mr. Ponet subdivided this property and then moved to the ranch at Sherman. He died on January 15, 1914.

To Mr. and Mrs. Ponet was born one child, who is now Mrs. Francis S. Montgomery of 334 Fourth street, Santa Monica. They also raised a foster son, who studied for the priesthood. He is Rev. William P. Ponet, C. M., at present located at St. Stephen's Church, New Orleans.

The Ponet estate includes valuable realty holdings in the business district, Ponet Square, formerly known as Fiesta Park, the Ponet ranch at Sherman, and other ranch properties.

Figures 16 & 17. Los Angeles Evening Express, 9 February 1914 and Los Angeles Times 20 February 1919.

APPENDIX 4. COMPARATIVE IMAGES

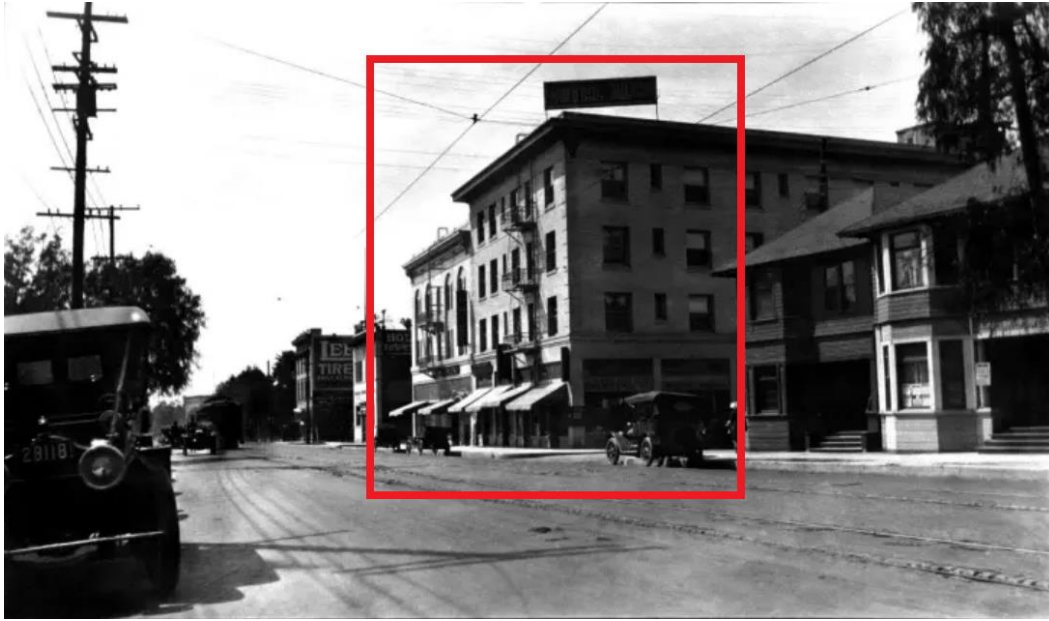


Figure 18. Hotel Loma and Hotel Alco on the west side of Figueroa Street, south of 10th Street. Ca. 1914. The Homestead Museum, City of Industry, CA.

HOTEL COMPLETED.
Figueroa-Street Hostelry Turned Over to Tenant During Past Week. Leased for Ten Years.
The Hotel Loma at No. 1007 South Figueroa street has been completed and was opened during the past week. The building was erected and is owned by the United Investment Company, and was recently leased to Mrs. Flora B. Snyder of Chicago for a term of ten years at a given total rental consideration of \$48,000. The Wright-Callender-Andrews Company, represented by Edward H. Foster, handled the deal.
The Loma is steam heated, has private telephones in each room and has 80 per cent. private baths and showers. The place has been attractively furnished by the lessee. Morgan, Walls and Morgan were the architects of the building.

SOUTH OXFORD SALE.
The sale for Nichols & Stanbery to W. A. Moses of an attractive eleven-room residence at No. 426 South Oxford boulevard has just been concluded by A. S. Barker, with the Arthur W. Kinney Company. The house is of brick construction, with a plastered exterior, and has a clay tile roof. It is finished in oak and mahogany. There are three baths. The lot is 65x150 feet in size. The consideration is given by the agents at \$17,500 cash.

SUBSTANTIAL GAIN.
Twenty-three Permits Issued in South Pasadena in November as

Rented for Ten-Year Term.



Hotel Loma, No. 1007 South Figueroa.
New improvement that has just been leased through E. H. Foster, with the Wright-Callender-Andrews Company.

Figure 19. *Los Angeles Times*, 7 December 1913.



Figure 20. Source unknown. Decorative tiles at Santa Fe Depot in San Diego.



Figure 21. Decorative spandrel panels on the Morrison Hotel façade vs. Southwest-style woven fabric.



Figure 22. Kim Cooper and Richard Schave. Amherst Apartments at 801 S. Union Ave. 2022.



Figure 23. Kim Cooper and Richard Schave. Amherst Apartments at 801 S. Union Ave. 2022.

APPENDIX 5. NEWSPAPER CLIPPINGS

BRICK HOTEL—Archts. Morgan, Walls & Morgan, 1136 Van Nuys Bldg., are preparing preliminary plans for a 4-story Class C hotel building to be erected at the corner of Pico and Hope Sts. for Victor Ponet. The building will contain about 125 rooms with a large proportion of private baths, and lobby, dining room and stores on the ground floor. Concrete foundation, pressed brick facing, composition roof, galvanized iron cornice, plate and prism glass store fronts, steam heat, elevator, vacuum cleaning, fire escapes, marble and tile entrance and lobby. The brick wall and seats of the old stadium now on the site are being demolished.

Figure 24. *Southwest Contractor and Manufacturer*. Vol. 11, no. 16, 23 August 1913.

PLAN NEW BUILDINGS.	
Four-Story Hotel to Be Erected on Pico Street—Work in the Architects' Offices.	Th
Architects Allison & Allison have been commissioned to prepare plans for the proposed new High School building at Santa Paula, for which there is about \$70,000 available from a bond issue. It is proposed to erect a two-story reinforced concrete building, which will be planned as the central building of a group. The building will be of classical design.	SE
A four-story brick hotel building at the corner of Pico and Hope streets for Victor Ponet is now being planned by Architects Morgan, Walls & Morgan. The building will be erected on a portion of the old stadium known as Fiesta Park. The inclosing wall and seats of the stadium are now being demolished. The proposed hotel will contain about 125 rooms.	Ag Bo

Figure 25. *Los Angeles Times*. 24 August 1913.

WITH THE ARCHITECTS.

Four-Story Hotel Projected at Pico and Hope Streets—Office Building for Hollywood Corner.

Among the hotel and apartment-house projects now engaging the attention of local architects and contractors the following are noteworthy:

Morgan, Walls & Morgan are drawing plans for a four-story and basement brick hotel and store building to be erected by Victor Ponet at Pico and Hope streets. The structure will contain a lobby and six stores on the ground floor and 120 guest rooms, with sixty baths above. The building will be 90x150 feet in size and will be attractively faced with glazed brick.

Plans for a four-story hotel building.

Figure 26. *Los Angeles Times*. 28 September 1913.

TO BUILD \$75,000 HOTEL

The F. O. Engstrom company has been awarded the general contract for the erection of a four-story and basement class C brick store and hotel building at the northeast corner of Pico and Hope streets, for Victor Ponet. The contract amounts to about \$75,000 and will include part of the subcontracts. Morgan, Walls & Morgan are the architects.

Figure 27. *Los Angeles Evening Express*. 6 December 1913.

BUILDING PERMITS.

Following are the building permits for structures to cost \$1500 and over issued from December 11 to December 18, inclusively:

Residence, eight rooms, No. 990 Westchester place; W. J. Wisler, \$3700.

Brick hotel and store building, four stories, Nos. 1246-60 South Hope street, and 433-44 West Pico street; Victor Ponet, \$95,000.

No. 2027

Figure 28. *Los Angeles Times*. 21 December 1913.

**Hundred Thousand-Dollar Hotel
Just Completed at Northeast Corner
of Pico and Hope Streets.**

One of the most important of the many new close-in improvements in Los Angeles is a hotel at the northeast corner of Pico and Hope streets, the finishing touches of which have just been made by the contractors. The building, costing approximately \$100,000, was planned for the late Victor Ponet, and had been barely started at the time of his death, a few months ago. Morgan, Walls & Morgan were the architects.

The structure is of brick and steel fram construction and four stories in height. It has a frontage of 164 feet on Hope street and of ninety-one feet on Pico. The street fronts are attractively faced with white enameled brick, patterns in polychrome tile forming the ornamentation.

The ground floor is given over to five stores on the Pico-street side and to the hotel entrance, lobby and dining-room on the Hope-street front. The entrance is in marble and tile and the lobby, 50x22 feet in size, has white enamel finish and decorated walls. There are 100 guestrooms on the three upper floors.

Figure 29. *Los Angeles Times*. 12 July 1914.

36

N. J. and Victor Ponet, owns; F. O. Engstrom Co, contr; bldg, 1246-60 Hope St and 433-441 W Pico St; contracted Dec 9, 1913; completed July 21, filed July 29.

Figure 30. *Southwest Contractor and Manufacturer*. Vol. 13, no. 13, 1 August 1914.

AUTO MEN'S SPECIAL
NOONDAY LUNCH, 45c
WITH REAL HOME-MADE PASTRY
FOR THE AUTO AND ACCESSORY PEOPLE
MORRISON CAFE
1248 SOUTH HOPE ST. BDWY. 8370.

Figure 31. *Los Angeles Herald*. 22 July 1921.

Los Angeles Hotels and Apartments
Live at **THE MORRISON HOTEL**
1246 SO. HOPE STREET. WE. 6256.
\$5.00 week, up—Large, light, airy rooms—Nice lobby.
Corner Pico and Hope Streets—close to automobile row.

Figure 32. *Los Angeles Times*. 14 January 1931.

416 S. SPRING ST.
FOUND!
THE MORRISON HOTEL
Special consideration to weekly & monthly guests. Walking distance to heart of city. Your inspection will delight you. Easy chairs, reading lamps in your room.
1246 So. Hope. PR. 6256.

Figure 33. *Los Angeles Times*. 11 April 1937.

ALMOST FAMOUS

Murphy, Robert . WWD : Women's Wear Daily; Los Angeles Vol. 190, Iss. 6, (Jul 11, 2005): 28.

[ProQuest document link](#)

ABSTRACT (ABSTRACT)

Consider "Morrison Hotel." "The guys didn't have the slightest idea what they wanted for a cover shot," recounts [Henry Diltz]. "I asked if they had a title. They said no. Ray Manzarek then suggested a place he'd seen in downtown Los Angeles called the Morrison Hotel. When we got there I thought we would just take a few pictures inside. But the guy at the desk wouldn't let us shoot.

FULL TEXT

PARIS -- In the pantheon of rock photography, Henry Diltz is legendary.

With a manually operated Nikon FM, he's shot such iconic album covers as The Doors' "Morrison Hotel," the Eagles' "Desperado" and the so-called "porch" picture for Crosby, Stills & Nash's debut effort.

Sitting down for a chat at Colette here, where a selection of his work -- from snaps of Jimi Hendrix and Keith Richards to David Cassidy and Mama Cass -- is on view through Aug. 27, Diltz straightens his ponytail and refers to himself as the "Jane Goodall of rock photography."

Indeed, Diltz, 66, had a wonderful platform for observing the legends: chilling in Jimi Hendrix's dressing room, even making him love beads; sucking down beers with The Doors, and eating peyote with the Eagles. "I've always worked organically," he says. "I've never had a studio. The picture-taking process usually starts by going over to someone's house. Most of my pictures are hangout shots."

Consider "Morrison Hotel." "The guys didn't have the slightest idea what they wanted for a cover shot," recounts Diltz. "I asked if they had a title. They said no. Ray Manzarek then suggested a place he'd seen in downtown Los Angeles called the Morrison Hotel. When we got there I thought we would just take a few pictures inside. But the guy at the desk wouldn't let us shoot. We went outside, and when I saw him disappear upstairs, I told the guys to hurry inside and stand in the window." So was born one of rock's most memorable covers.

"Jim then wanted to get a beer," says Diltz. "So we went down to Skid Row and we saw this bar called the Hard Rock. We just had to go in." Diltz immortalized that drinking session, which eventually helped inspire a couple of London entrepreneurs to open the Hard Rock chain.

Equally memorable was the photo session for the Eagles' self-titled debut in 1972. Diltz and the band repaired to the desert where they ate "a few peyote buttons," sprawled out in the sand and "laughed our heads off" as Diltz started shooting.

Diltz believes his photography profited from his having been a musician, playing the five-string banjo with a band known as the Modern Folk Quartet. He discovered his love of the camera after he started clicking pictures "for the heck of it" and showing slides to his acquaintances. "I tried to take these wild pictures that I hoped would blow my

friends' minds," says Diltz.

As the word spread of Diltz's penchant for photography, his many musician friends began to solicit him for publicity pictures and eventually he teamed up with the art director Gary Burden to start making cover art.

"I was in the right place at the right time," he says. "Southern California in the Sixties and Seventies was the place to be. It was like this explosion of singers and songwriters." He laughs, "You can't tell me a lot of what was going on wasn't related to smoking pot and psychedelics. I had a big color revelation myself."

Today, Diltz, who runs galleries in New York and La Jolla, Calif., continues to shoot the rock world, having recently finished a session with Stevie Wonder. "I'm very lucky," he says. "Musicians are my heroes. The people I've photographed have created the soundtrack for a lot of people's lives."

Photograph

Album cover of The Doors' "Morrison Hotel" shot by Henry Diltz. / Henry Diltz

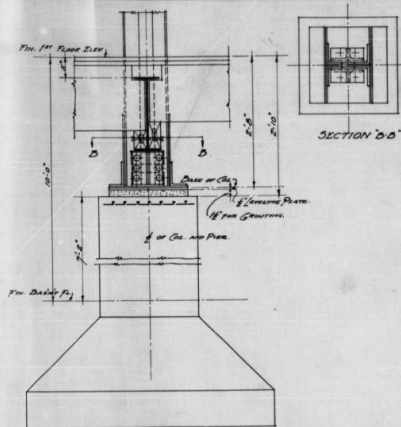
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Location:	Paris France; France
People:	Diltz, Henry
Classification:	9160: Biographical; 9175: Western Europe; 8307: Arts, entertainment & recreation; 72111: Hotels (except Casino Hotels) and Motels; 54192: Photographic Services; 71113: Musical Groups and Artists
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Volume:	190
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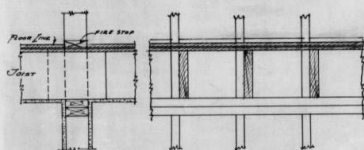
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Publication subject:	Clothing Trade
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Last updated:	2021-09-10
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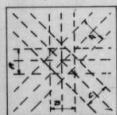
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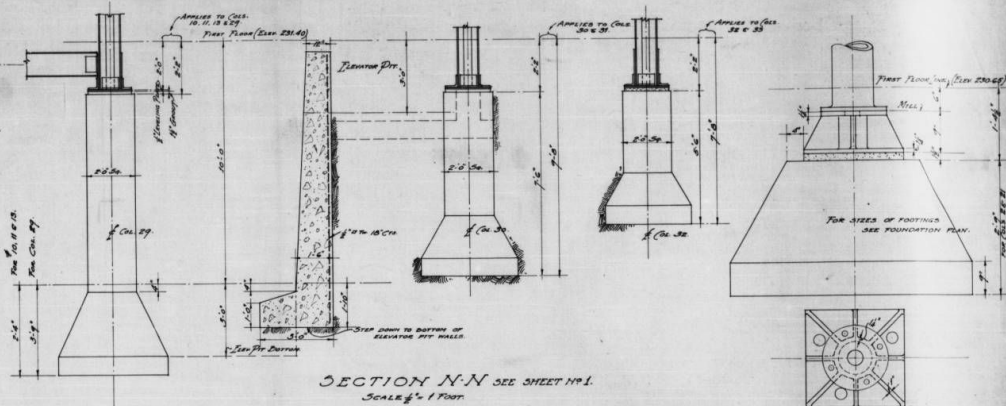
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SECTION N-A SEE SHEET NO. 1.



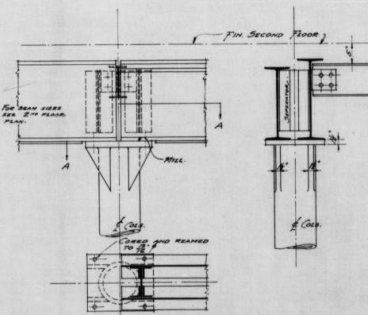
TYPICAL FRAMING DETAIL OF BEARING
PARTITIONS
SCALE 1/4" = 1'-0"



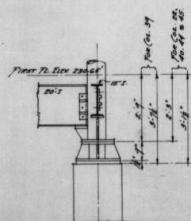
FOOTINGS 22 TO 27 INCL.
30 - 39 " "
40 - 45 " "
7 - 18 " "
TO BE REINFORCED WITH 12 # 10
BARS AS SHOWN.



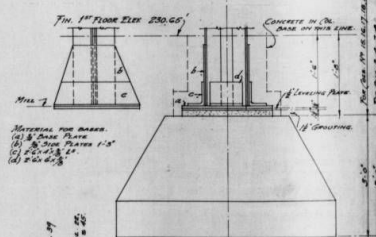
SECTION N-N SEE SHEET NO. 1.
SCALE 1/4" = 1'-0"



SECTION A-A
TYPICAL DETAIL OF CONNECTION OF
SPANDREL BEAMS TO C.T. COLUMNS.

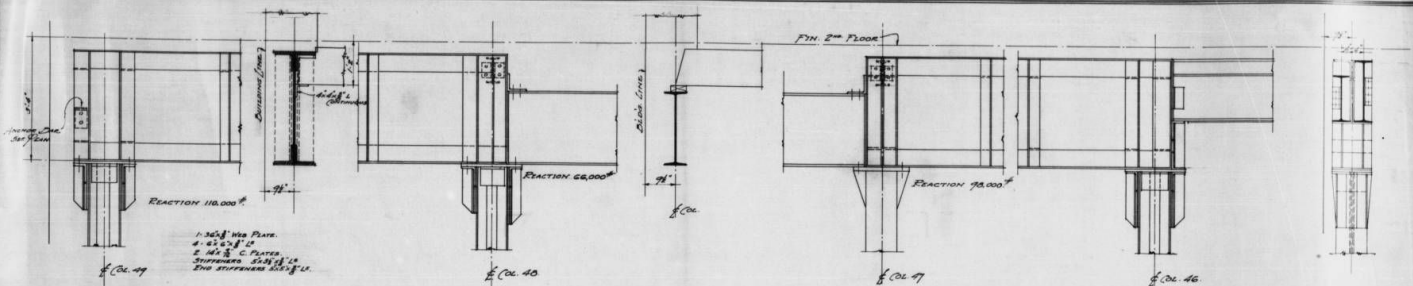


ELEV. DETAIL AT COL. 39
COLS. 22-40 44 & 45 SIMILAR.



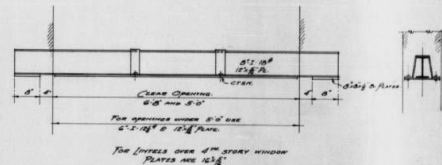
TYPICAL DETAIL OF STEEL
BASES.

A FOUR STORY HOTEL BLDG.
- ME. VICTOR, FORTY-
TO BE REINFORCED WITH 12 # 10
BARS AS SHOWN.
N22

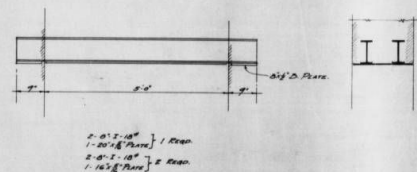


COLUMNS.

ALL CAST IRON COLUMNS ARE { 10" DIAM.
1" METAL.
EXCEPT COLS. 21, 40 AND 41 WHICH ARE { 10" DIAM.
1" METAL.
ALL STEEL COLS. ARE BUILT UP OF { 4-1/2" x 1/2" x 1/4" C. PLATE
1-30x1/2" WEB.
EXCEPT COLS. NOS. 26, 46, 48 & 49 { 10" DIAM.
1" METAL.



LINTEL BEAMS FOR PICO-MORE ST ELEVATION
AT 3rd, 4th AND ROOF.



LINTELS OVER DOORS THRU DIVISION WALLS.

DETAIL OF COL. 28

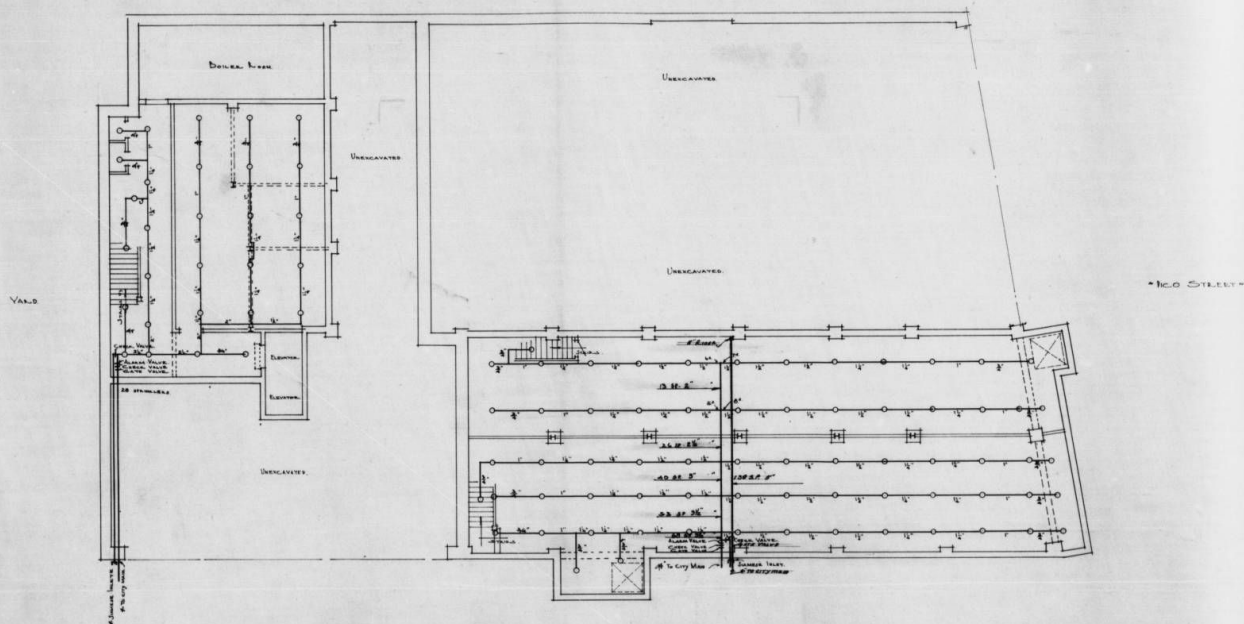
A FOUR STORY HOTEL BLDG.

MR. VICTOR PONET
108 S. GLENN ST.
LOS ANGELES

ARCHT. WALLS AND FOUNDATION

ARCHT. WALLS AND FOUNDATION

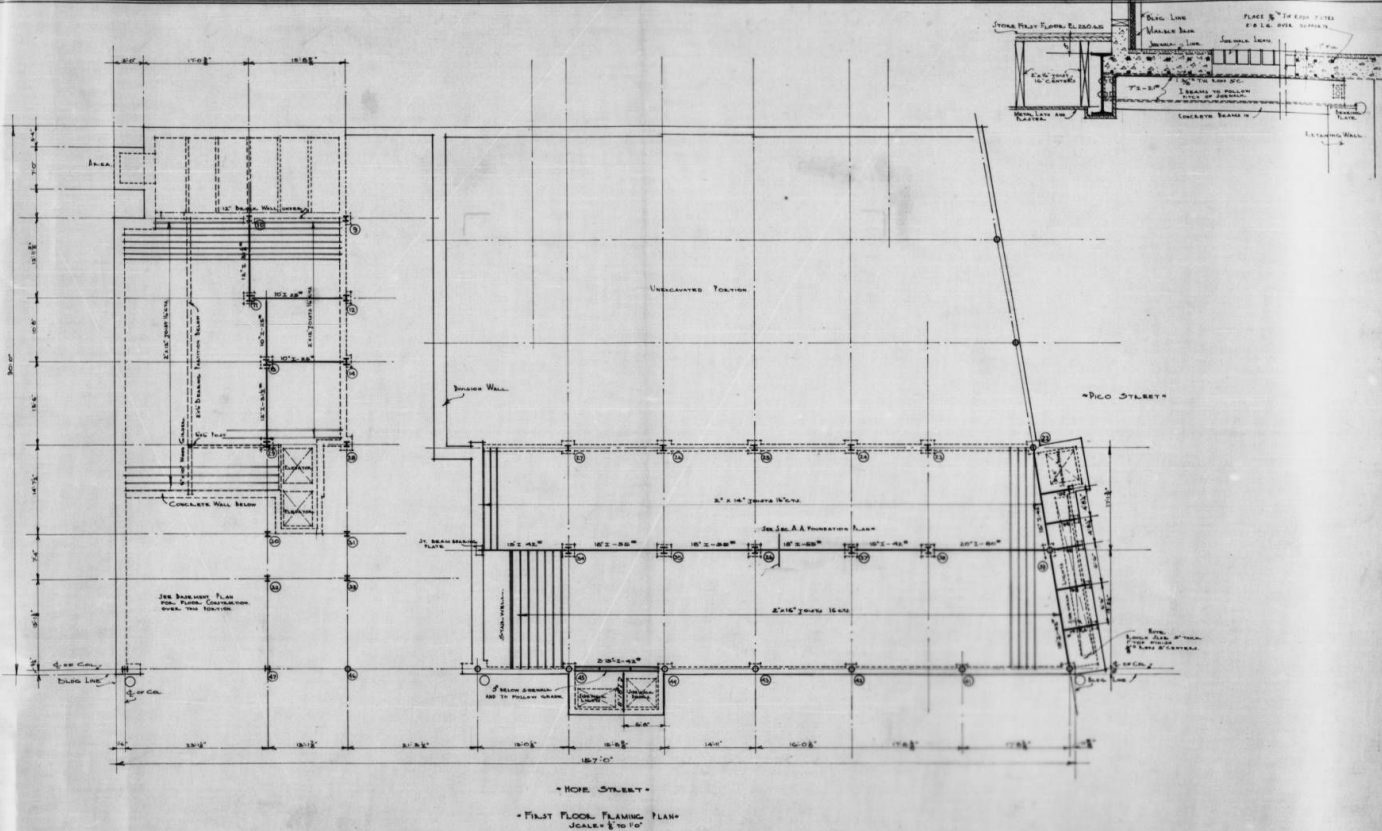
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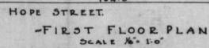
• HOPE STREET •
 • BASEMENT SPRINKLER PLAN •
 SCALE - 1/8" = 1'-0"

• A FOUR STORY HOTEL BLDG. •
 FOR
 MR. VICTOR. FOREST
 TO BE BUILT IN THE CORNER OF HOPE STREET AND
 100 STREET
 DRAWING NO. 100-100
 100-100

100-100

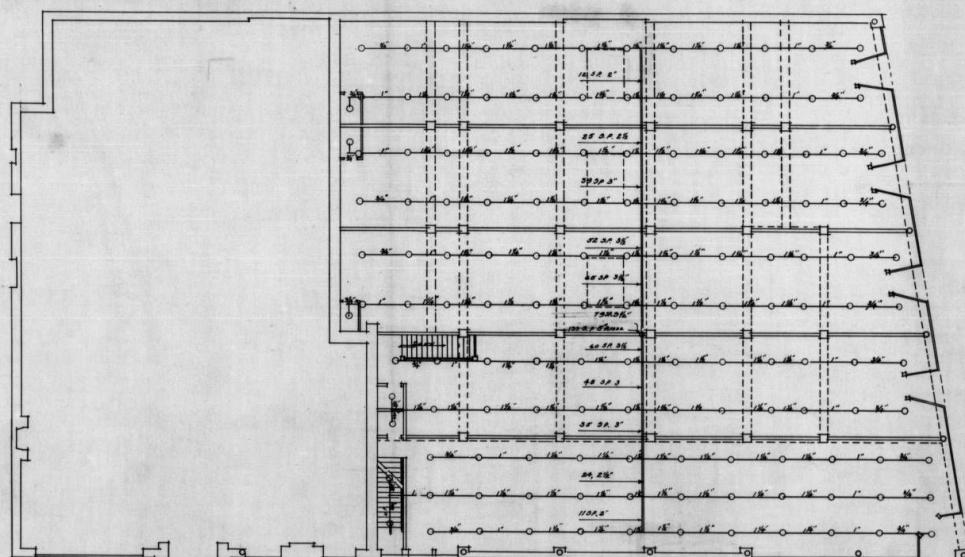


A FOUR STORY HOTEL BLDG.
 FOR
 MR. VICTOR JONET.
 TO BE LOCATED IN THE CITY OF LOS ANGELES, CALIF.
 DESIGNED BY
 HENRY W. HALL & SONS
 ARCHTDS.
 N.Y.



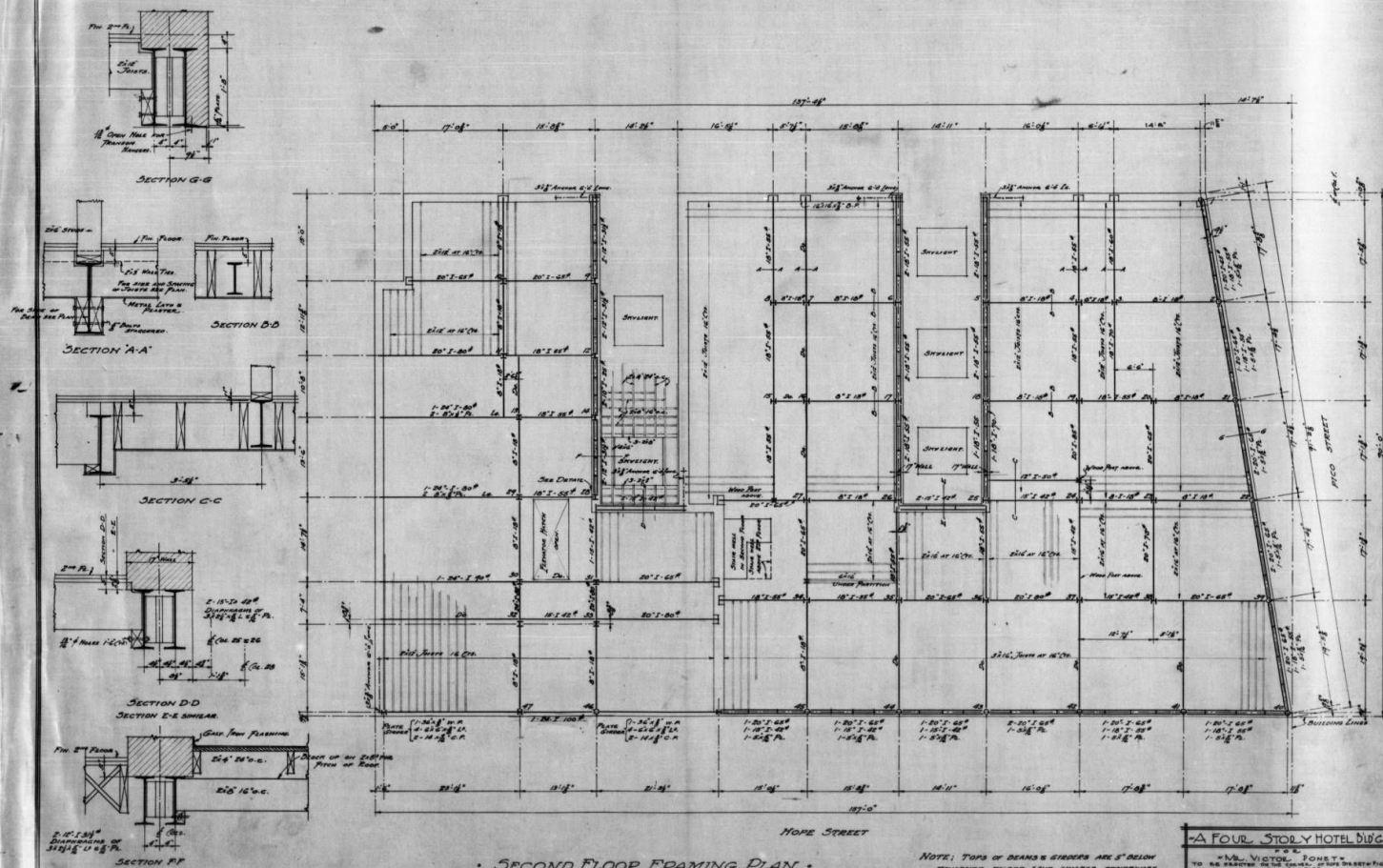
"MR. VICTOR PONET"
 TO BE ERECTED ON THE CORNER OF HOPKINS ST. AND PICO
 LOS ANGELES
 MORGAN, WALLS AND MORGAN
 "ALGHITE CUTS"
 N°6

[№6]



HOPE STREET
FIRST FLOOR SPRINKLER PLAN
TOTAL SPRINKLERS 139.

-A FOUR STORY HOTEL BLDG.-
P.C.S.
-MR. VICTOR PONET-
TO BE ERECTED AT THE CORNER OF HOPE ST AND PICO ST.
LOS ANGELES
MORRIS WALKER AND MORRIS
ARCHITECTS
N964

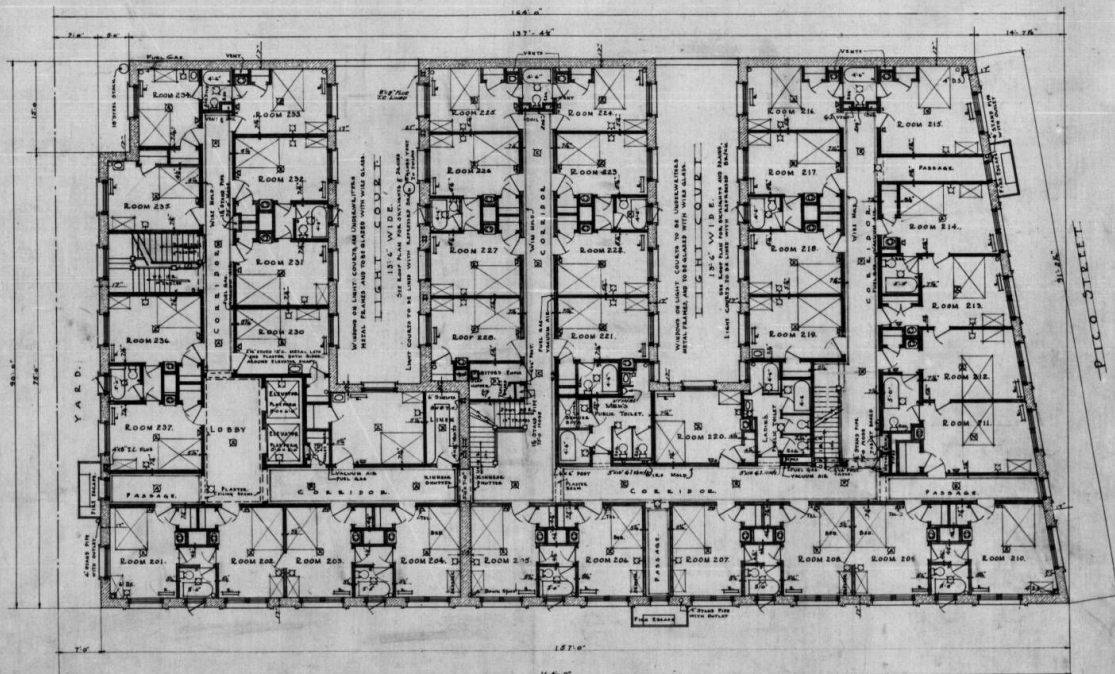


• SECOND FLOOR FRAMING PLAN •

• A FOUR STORY HOTEL BLDG. •

MR. VICTOR HOUT
TO BE BUILT IN THE CITY OF LOS ANGELES
1920
MR. H. H. HOUT
ARCHITECT

Nº 7



GENERAL NOTES
CORRIDOR: DOORS 2'0" x 6' 6" WITH TRANSOM OVER;
FLOOR: 2'0" x 6' 6" x 1/2" IN;
CLINET: DOORS 2'0" x 6' 6" x 1/2" IN;
BATH ROOM: DOORS 2'0" x 6' 6" x 1/2" IN; ADJUSTABLE HINGES TO BATH ROOM;
COMMUNICATION DOORS 2'0" x 6' 6" x 1/2" IN;

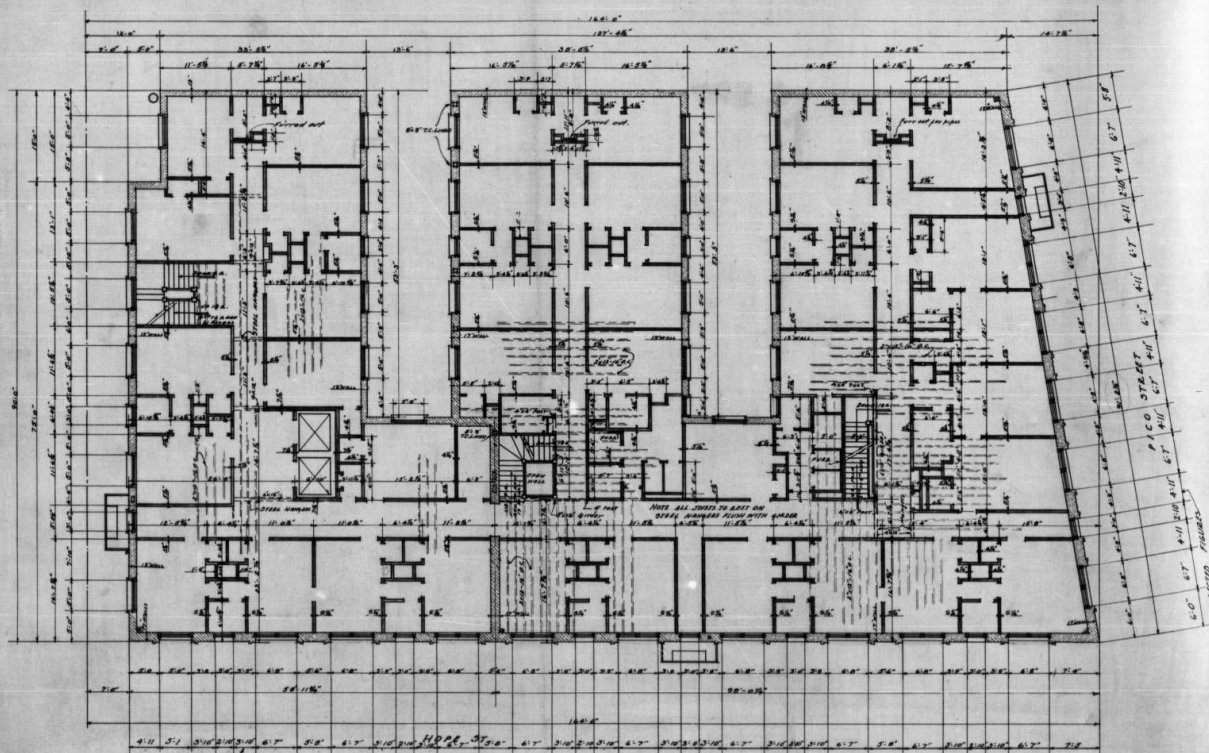
OVER ALL LAVATORIES: PLACE A 1/2" WIDE MIRROR IN A
WOOD FRAME, ALSO A 1/2" WIDE;
ALL BATH ROOMS AND PUBLIC TOILETS TO HAVE CEMENT
FLOORS WITH A 1/2" SANITARY BASE, A PLASTER WAINSCOT
BASE OF 1/2" IN THE TILES TO BE HIGH WITH A 1/2" WAINSCOT LAC;
TOILET ROOMS AND HALLS: TO HAVE METAL
BACKS AND BATH ROOMS;
THE LOWER PART OF WARDROBE IN LIGHT COLORED TO HAVE
PAINTED WOOD PLATE.

PASSAGE TO FIRE ESCAPE, DOORS OF ALL STAIRWAYS,
AND ELEVATOR SHAFT, HALLS AND DOORS, TO BE METAL LATH
AND PLASTERED;
IN CORRIDORS THERE WILL BE A MIRROR 2' 0" x 6' 6" x 1/2" IN;
KID, AND A WIDE MOLD AT CEILING;
ALL ROOMS TO HAVE A 1/2" WIDE BASE AREA PICTURE NAIL
CLOSETS TO HAVE A 1/2" BASE WITH MIRROR 2' 0" x 6' 6" x 1/2" IN;
AND A 1/2" BASE;
ALL BATH TOILETS AND BATH ROOM VENT DUCTS TO BE 2' 0" x 6' 6" x 1/2" IN;
BATH ROOM WITHIN REAR W.C. REGISTER;
BATH ROOM FLOORS TO BE RAISED AND CEILING FURRED;
WIRELESS TELEPHONE TO BE RAISED;
ALL VENT AND FIRE DUCTS TO BE HIGH OF AT FLOOR AND TO BE
PLASTERED IN METAL LATH OR STUCCO.

HOPE STREET SECOND FLOOR PLAN SCALE 1/4" TO ONE FOOT

IMPORTANT NOTE
FURNITURE: BEDDING, ELECTRIC OUTLET, VARIOUS AIR, STAIRWAYS;
BATH OUTLET, ELECTRIC, BATHS AND WARDROBE, FUR FURRED, WIRE
TARIFF BOARD, TELEPHONE, AND ALL APPLIANCES MUST BE IN PLAN
AND IN NATURAL POSITION, THERE ARE TRASHY PLACES;
THE FLOOR PLAN FOR THE LOCATION OF WINDOWS AND PARTITION
SHOWN ON THIS PLAN.

A FOUR STORY HOTEL BLDG.
FOR
MR. VICTOR JONET
TO BE BUILT ON CORNER OF HOPE STREET & 2ND
ST. ST. LOUIS, MO.
MORGAN WALLS AND MORGAN
ARCHITECTS
No. 8



CORRECTED FIGURES FOR
BANK OPENING DEC. 14, 1914.

FOURTH FLOOR PLAN
THIRD FLOOR PLAN IS SIMILAR
SCALE 1/8" = 1'-0"

USE THIS PLAN FOR LOCATION OF PARTITIONS AND WINDOWS ONLY.
USE SECOND FLOOR PLAN FOR LOCATION OF ALL PLUMBING FIXTURES,
ELECTRIC OUTLETS, TELEPHONES, STANDARDS, FIRE EXTINGUISHERS, ETC.
THOUGH HATCHES AND SERVICE FLOOR PLAN WILL GOVERN ON THIRD
AND FOURTH FLOORS.
BATH ROOMS WISCONSIN TO BE 200 FEET FLOOR AND 200 FEET HIGH.

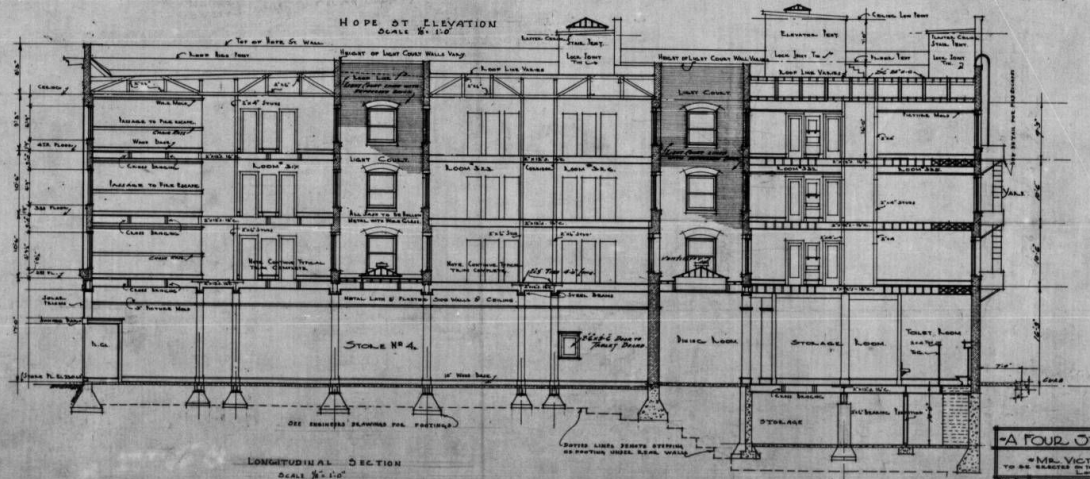
"A FOUR STORY HOTEL BLDG."

MR. VICTOR PONET
TO BE A FIFTEEN STORY HOTEL, 200 FEET FLOOR PLAN
1914
HOBOKEN, N.J.
ARCHITECTS

N49



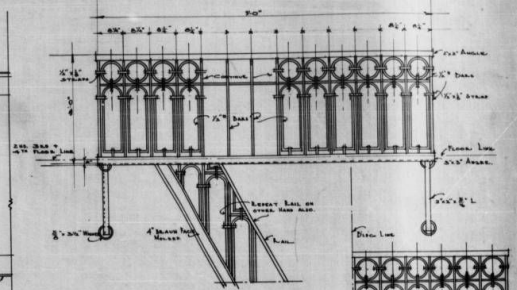
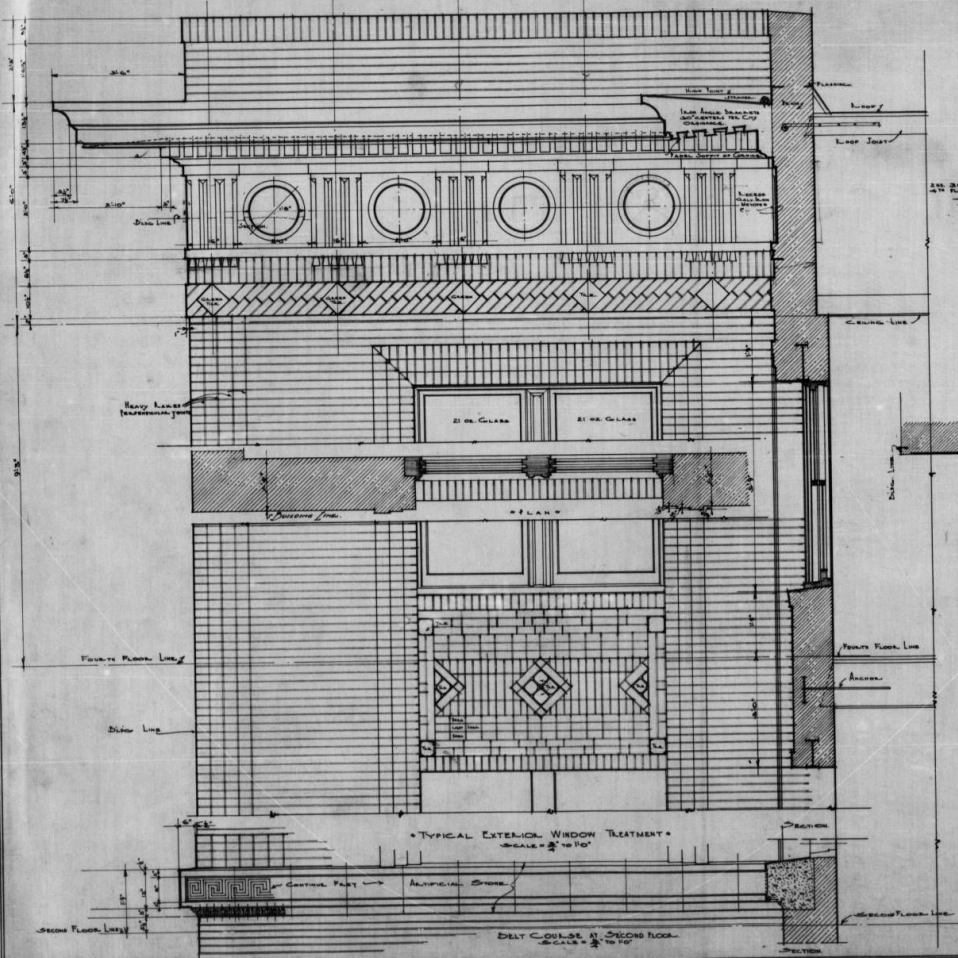
1200 STREET



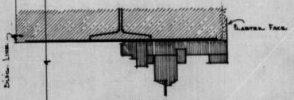
-A FOUR-STORY HOTEL BLDG.-

MR. VICTOR TONET
1200 STREET, 1200 STREET, 1200 STREET
1200 STREET, 1200 STREET, 1200 STREET
1200 STREET, 1200 STREET, 1200 STREET

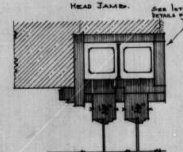
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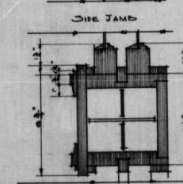
FRONT ELEVATION OF BALCONY
SCALE = 1/8" TO 1"



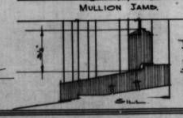
TYPICAL FIRE ESCAPE DETAILS
SCALE = 1/8" TO 1"



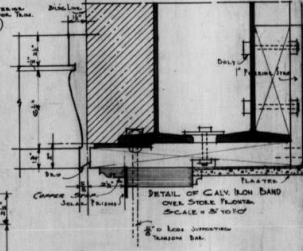
HEAD JAMB
SCALE = 1/8" TO 1"



SIDE JAMB
SCALE = 1/8" TO 1"



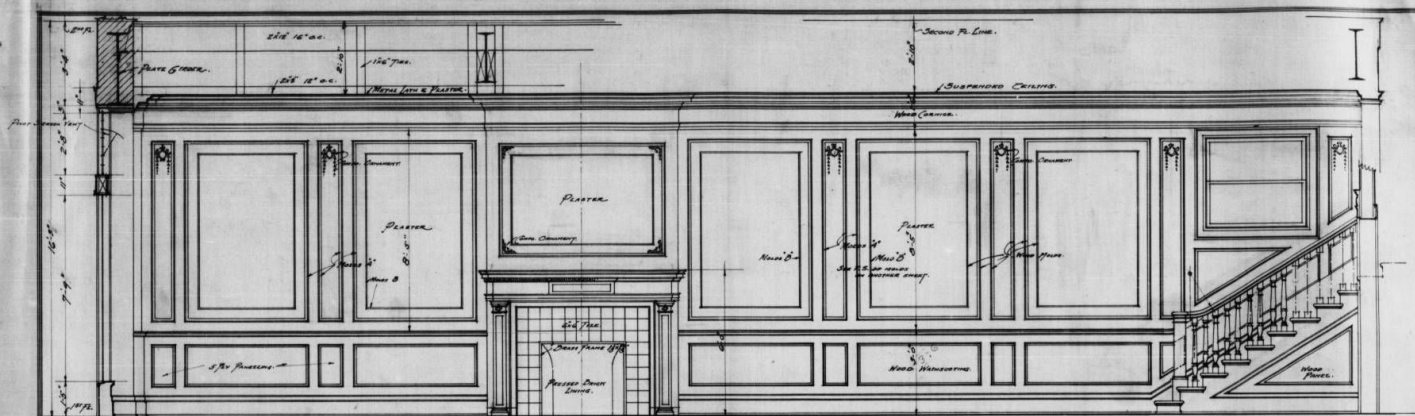
MULLION JAMB
SCALE = 1/8" TO 1"



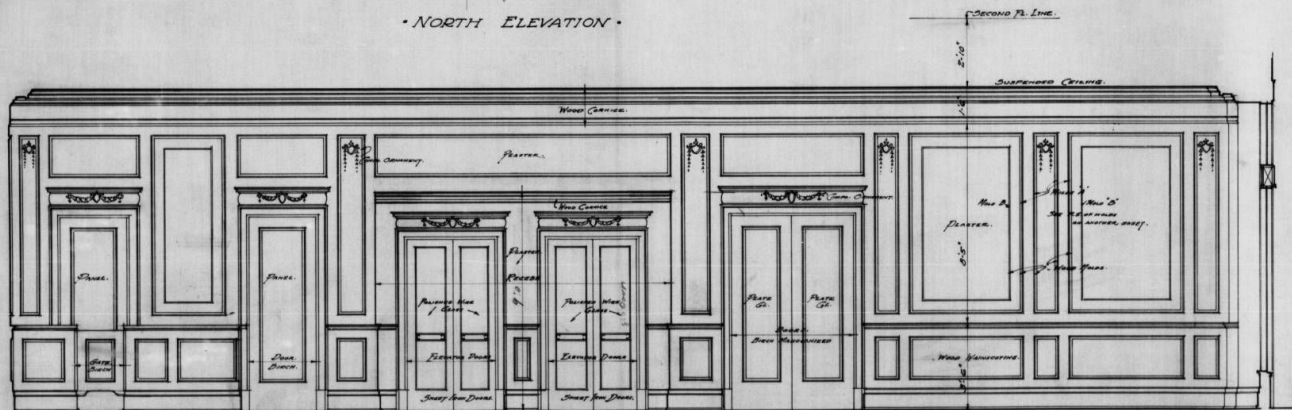
DETAIL OF GALV. IRON BAND
OVER DOOR THRESHOLD
SCALE = 1/8" TO 1"

"A FOUR-STORY HOTEL BUILDING"

MR. VICTOR J. TONET
ARCHITECT
LOS ANGELES
N.B.S.



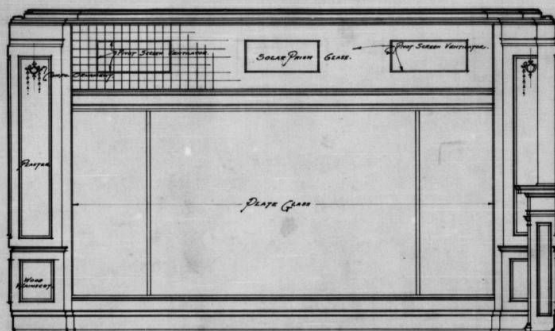
• NORTH ELEVATION •



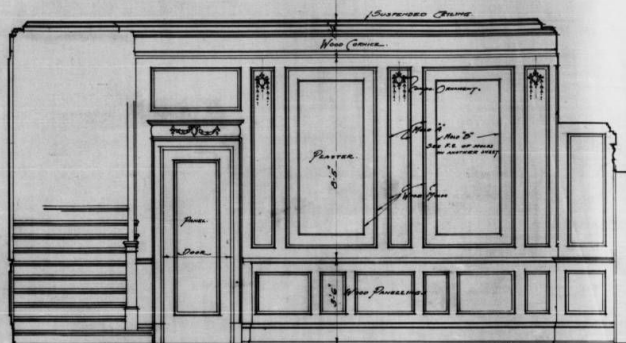
• SOUTH ELEVATION •

• SCALE DETAILS OF LOBBY •
SCALE 1/2" = 1' 0"

• A FOUR STORY HOTEL BLDG. •
P.L.S.
• PAUL VICTOR BOWEN •
TO BE BUILT IN THE CITY OF LOS ANGELES
• ARCHITECTS •
MILWAUKEE, WIS. OR NEW YORK, N.Y.
N.Y.

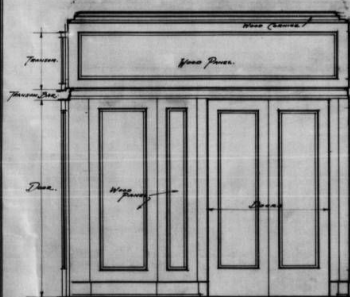


WEST ELEVATION

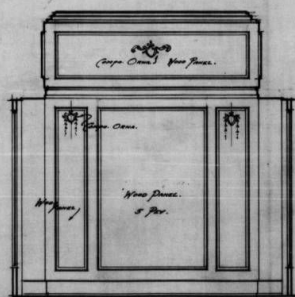


EAST ELEVATION

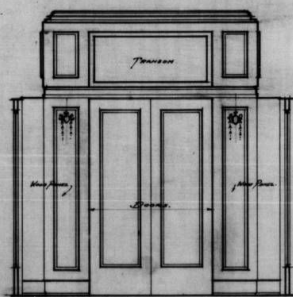
SCALE DETAILS OF LOBBY
SCALE 1/4" = 1'-0"



NORTH ELEVATION

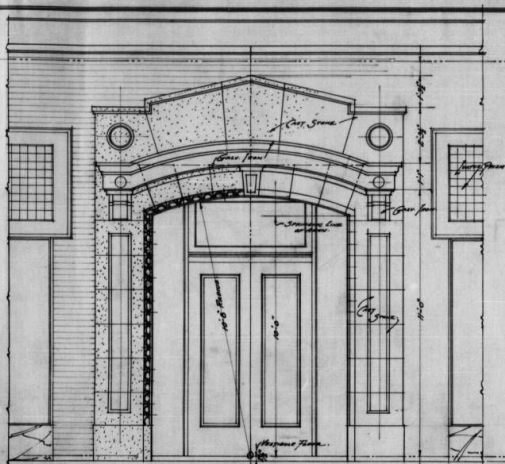


EAST ELEVATION

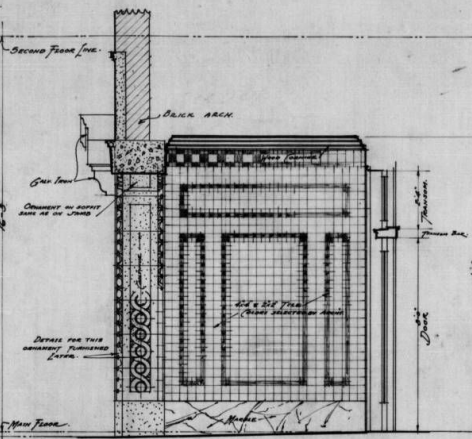


WEST ELEVATION

SCALE DETAILS OF VESTIBULE
SCALE 1/4" = 1'-0"

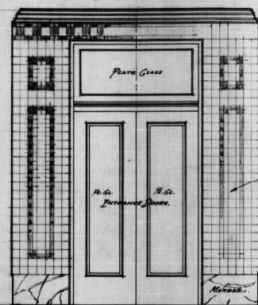


ELEVATION OF ENTRANCE

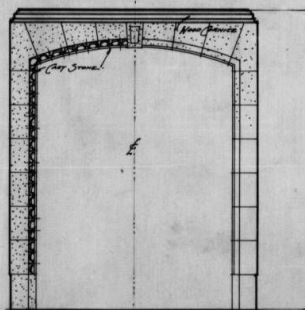


SECTION THRU ENTRANCE IN CENTER LINE.

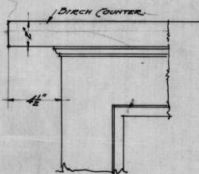
SCALE 1/4" = 1 FOOT.



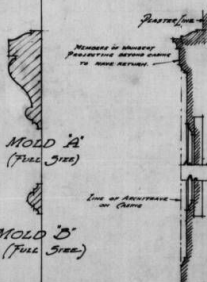
ELEVATION OF ENTRANCE DOOR.



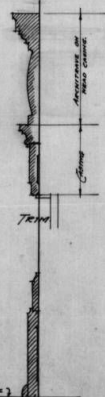
ELEVATION OF ENTRANCE
LOOKING TOWARD STREET.



DETAIL OF PROJECTION
ON COUNTER.
SCALE 3/4" = 1"



SCALE DETAILS OF TRIM
IN VESTIBULE & LOBBY.



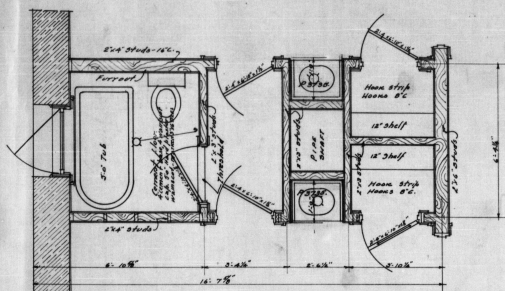
CORNICE IN LOBBY

SCALE 3/4" = 1"

WAINSCOTING CASE.

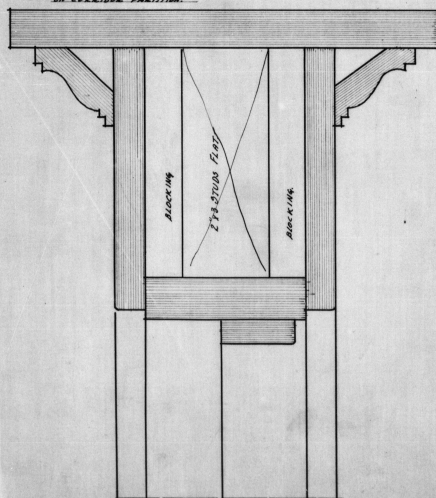
SCALE 3/4" = 1"

A FOUR STORY HOTEL BLDG.
"MRS. VICTOR J. ROBERTS"
TO THE ARCHITECTS OF THE BLDG.
"MRS. VICTOR J. ROBERTS"
"MRS. VICTOR J. ROBERTS"
"MRS. VICTOR J. ROBERTS"

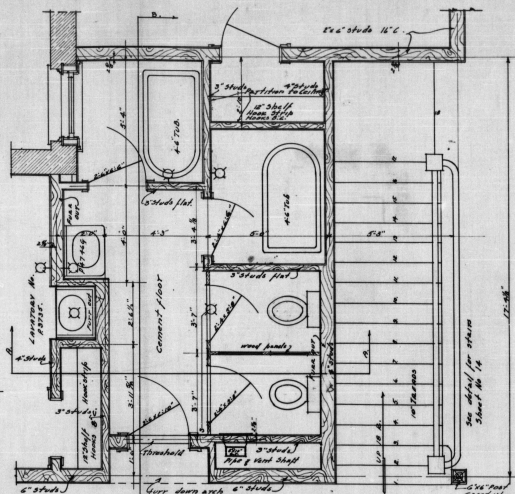


PLAN 2ND FLOOR
TYPICAL BATH ROOM

THIS PLAN IS TYPICAL FOR 3 1/2\"/>

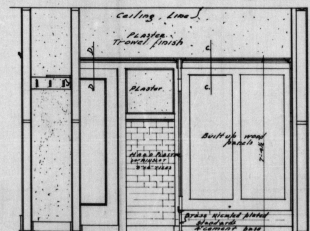


SECTION DD
FULL SIZE

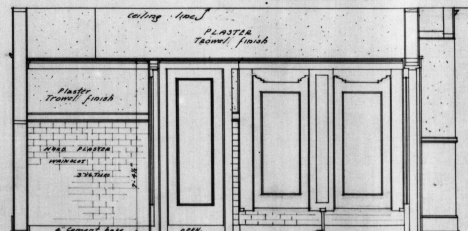


LADIES PUBLIC TOILET
SECOND FLOOR

SCALE 1/8\"/>

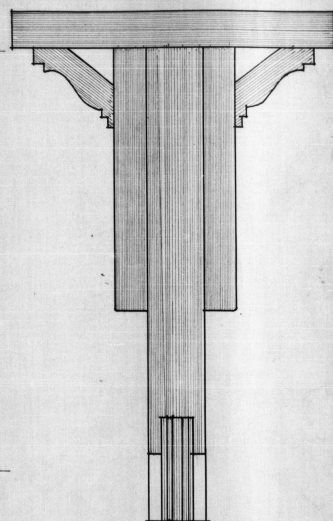


SECTION AA
SCALE 1/8\"/>



SECTION BB
SCALE 1/8\"/>

TYPICAL TOILET FINISH
SCALE 1/8\"/>



SECTION CC
SCALE 1/8\"/>

A FOUR STORY HOTEL BLDG-

-MR. VICTOR PONTY-
TO BE ERECTED ON THE CORNER OF 17TH STREET & PINE
ST. LOUIS
WILLIAM WALL AND MORGAN
ARCHITECTS

NO 20

OCT 23 1913

All applications must be filled out by applicant

(USE INK OR INDELIBLE PENCIL)

PLANS AND SPECIFICATIONS
and other data must also be filed.

WARD

BOARD OF PUBLIC WORKS

DEPARTMENT OF BUILDINGS

Application for the Erection of Building of plans and

CLASS "A", "B", "C"

To the Board of Public Works of the City of Los Angeles:

Application is hereby made to the Board of Public Works of the City of Los Angeles, through the office of the Chief Inspector of Buildings, for a building permit in accordance with the description and for the purpose hereinafter set forth. This application is made subject to the following conditions, which are hereby agreed to by the undersigned applicant and which shall be deemed conditions entering into the exercise of the permit:

First: That the permit does not grant any right or privilege to erect any building or other structure therein described, or any portion thereof, upon any street, alley, or other public place or portion thereof.

Second: That the permit does not grant any right or privilege to use any building or other structure therein described, or any portion thereof, for any purpose that is, or may hereafter be, prohibited by ordinance of the City of Los Angeles.

Third: That the granting of the permit does not affect or prejudice any claim of title to, or right of possession in, the property described in such permit.

(SIGN HERE)

Morgan Walls & Morgan
for Chas. H. Wall (Applicant)

Lot No.

Block

TAKE TO
ROOM NO. 6
FIRST FLOOR

ASSESSOR
PLEASE
VERIFY

Commencing at a point on the north-east corner of
Pico & Hope Streets, running thence easterly along
the northerly line of Pico St. 21.18' thence norther-
ly 149.37', thence westerly 90' to a point on the
easterly line of Hope St. thence southerly along the
easterly line of Hope St. 164' to the point of be-
ginning.

District No. 10 M. B. page 13 F. B. page

TAKE TO
ROOM NO. 34
THIRD FLOOR

ENGINEER
PLEASE
VERIFY

No. 1246-1250 & 1260 S Hope St
433-435-437-439-441 W Pico Street

1. PURPOSE OF BUILDING *HOTEL & STORES* Number of rooms *111 Rooms in hotel & stores*

2. OWNER'S NAME *MR VICTOR PONET*

3. Owner's address *145 N SPRING*

4. Architect's name *MORGAN WALLS & MORGAN*

5. CONTRACTOR'S NAME *F O ENGSTRUM CO.*

6. Contractor's address *5TH & SEATON*

7. ENTIRE COST OF PROPOSED BUILDING *\$95,000.00*

8. Size of lot *90 x 164* Size of building *90' x 157'*

9. Will building be erected on front or rear of lot? *FRONT*

10. NUMBER OF STORIES IN HEIGHT *4* Height to highest point of roof *56'-0"*

11. Height of first floor above curb level, or surface *3" in LOBBY CEMENT FL IN STORES*

12. Character of ground: rock, clay, sand, filled, etc.

13. Of what material will FOUNDATION and cellar walls be built? *CONCRETE*

14. GIVE depth of FOUNDATION below the surface of ground *14'-0" VARIES*

15. GIVE dimensions of FOUNDATION and cellar wall FOOTINGS *VARIES*

16. GIVE width of FOUNDATION and cellar wall at top *VARIES*

17. NUMBER and KIND of chimneys *7* Number of flues *7*

18. Number of inlets to each flue *one* Interior size of flues *6" x 8" T.C. LINED W 18" STEEL*

19. Of what material will upper walls be constructed? *BRICK*

20. Are there any buildings within 30 feet of the proposed structure? *No*

Date issued *DEC 11 1913*

191

Application Received

PERMIT NO.

222

15893

OVER

ON 37 75

21. GIVE THICKNESS OF EXTERIOR WALLS:

Basement 21" 5th story 10th story
1st story 17" 6th story 11th story
2nd story 17" 7th story 12th story
3rd story 12" 8th story Fire wall
4th story 12" 9th story

22. GIVE MATERIAL, SIZE AND DISTANCE ON CENTERS OF FLOOR JOIST:

1st story material O.P.; size 2" x 16"; distance on centers 12' x 16" o.c.
2nd " O.P. 3 x 16 - 16 c, 2 x 16 - 16 c, 2 x 12 - 16' 8" c.
3rd " " 2" x 12" 16" o.c.
4th " " 2" x 12" 16" o.c.
5th " " " " " "
6th " " " " " "
7th " " " " " "
8th " " " " " "
Ceiling joists O.P. 2" x 16" 16" o.c.
Roof joist O.P. 2" x 16" 24" o.c.

23. Will any wall be supported on iron or steel girders or columns? YES
24. Specify material of beams, girders and columns STEEL BEAMS, CAST IRON & STEEL COLUMNS
25. Specify construction of floors WOOD JOISTS
26. Specify material of partitions STUD
27. Specify material of roofing ASPHALTUM GRAVEL
28. Specify material of stairways WOOD
29. Specify material of elevator shaft, other shafts and chutes METAL LATH & PLASTER
30. Specify material and construction of cornices GALV IRON
31. Specify number of fire escapes, and where located 3 one on Hope, one on Rice, and one on 7th
32. Specify means of access to roof Two stairways
33. Specify size of vent shafts to water closet compartments 6" x 10" G. I.
34. Specify how halls will be lighted and ventilated Windows
35. Will metal lath be used? If so, specify where all first fl. Basement, F. E. Passages and
COUNTY OF LOS ANGELES, ss JAMES A. WITTE
36. Will freight elevators be inclosed or provided with doors and fusible links? By W. Morgan

REMARKS: first duly sworn deposes and says: that he is the Owner of the above described property, and that the plans and specifications herewith filed are true and contain a correct description of the said hotel or lodging house, building, structure, lot and proposed work.

Subscribed and sworn to before me this

11th day of December, 1913.

Wilma L. Stein

Notary Public in and for the County of Los Angeles, State of California.

Morgan Waller Morgan

By O. W. Morgan

Application Received

Time

Returned

All applications must be filled out by applicant

PLANS AND SPECIFICATIONS
and other data must also be filed

WARD

BOARD OF PUBLIC WORKS
DEPARTMENT OF BUILDINGS

3

Application to Alter, Repair or Demolish

To the Board of Public Works of the City of Los Angeles:

Application is hereby made to the Board of Public Works of the City of Los Angeles, through the office of the Chief Inspector of Buildings, for a building permit in accordance with the description and for the purpose hereinafter set forth. This application is made subject to the following conditions, which are hereby agreed to by the undersigned applicant and which shall be deemed conditions entering into the exercise of the permit:

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Third: That the granting of the permit does not affect or prejudice any claim of title to, or right of possession in, the property described in such permit.

REMOVED FROM		REMOVED TO		By Deputy
Lot	Block	Lot	Block	
Tract		Tract		O. K. City Assessor
Book	Page	Book	Page	
F. B. Page		F. B. Page		
From No. <u>1248 Hope St</u>		Street		O. K. City Engineer
To No. <u>(USE INK OR INDELIBLE PENCIL)</u>		Street		

TAKE TO ROOM No. 6 FIRST FLOOR
ASSESSOR PLEASE VERIFY

TAKE TO ROOM No. 34 THIRD FLOOR
ENGINEER PLEASE VERIFY

- What Purpose is the present Building used for? Apartment
- Owner's name J. E. Eason Phone
- Owner's address Pico 9 Hope St Adams Apts. 1748 Hope St
- Architect's name C. E. Christensen Phone
- Contractor's name C. E. Christensen Phone Ext 1527
- Contractor's address 3121 George St
- ENTIRE COST OF PROPOSED WORK {Including Plumbing, Gas Fitting, Sewers, Cesspools, Elevators, Painting, Finishing, etc.} \$ 75.00
- Class of Present Building Brick No. of Rooms at present 120
- No. of stories in height 3 Size of present building X

STATE ON FOLLOWING LINES JUST WHAT YOU WANT TO DO.

Put up 2x4 partition 15 ft high 18 ft long
metal bath and toilet. With 2-2'x7' door
openings. This partition is to divide store
it is just a framing partition.

I have carefully examined and read the above application and know the same is true and correct, and that all provisions of the Building Ordinances will be complied with, whether herein specified or not.

OVER

(Sign here)

(Owner or Authorized Agent).

FOR DEPARTMENT USE ONLY

PERMIT NO. 21746	Plans and specifications checked and found to conform to Ordinances, State Laws, etc. (Use Ink) <u>M. F. Low</u> Plan Examiner.	Application checked and found O. K. (Use Rubber Stamp) NOV 9 - 1914 G. K. Clerk	Stamp here when permit is received RECEIVED NOV 9 1914
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FILL IN ALL BLANKS THAT APPLY TO WORK PROPOSED TO BE DONE,
OR TO ASCERTAIN IF SAME CAN BE DONE.

10. Size of new addition.....X..... No. of Stories in height.....
11. Material of foundation.....Size footings.....Size wall.....Depth below ground.....
12. Size of Redwood Mudsills.....X..... Size of exterior studs.....X.....
13. Size of interior bearing studs.....X..... Size of interior non-bearing studs.....X.....
14. Size of first floor joist.....X..... Second floor joist.....X.....
15. State Number of Plumbing Fixtures to be installed.....*none*..... Number of gas outlets.....*none*.....
16. State if there is a sewer or cesspool to be constructed on this lot?.....*no*.....
(No cesspools allowed where there is a street sewer)
17. Plumbing and gas fitting contractor's name.....

I have carefully examined and read the above blank and know the same is true and correct, and that all provisions of the Building Ordinance will be complied with, whether herein specified or not.

(Sign here).....
(Owner or Authorized Agent.)

All applications must be filled out by applicant

PLANS AND SPECIFICATIONS
and other data must also be filed

WARD 4

BOARD OF PUBLIC WORKS

DEPARTMENT OF BUILDINGS

3

Application to Alter, Repair or Demolish

To the Board of Public Works of the City of Los Angeles:

Application is hereby made to the Board of Public Works of the City of Los Angeles, through the office of the Chief Inspector of Buildings, for a building permit in accordance with the description and for the purpose hereinafter set forth. This application is made subject to the following conditions, which are hereby agreed to by the undersigned applicant and which shall be deemed conditions entering into the exercise of the permit:

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REMOVED FROM		REMOVED TO	
Lot.....	Block.....	Lot.....	Block.....
Tract		Tract	
Book..... Page..... F. B. Page.....		Book..... Page..... F. B. Page.....	

TAKE TO
ROOM No. 6
FIRST
FLOOR

ASSESSOR
PLEASE
VERIFY

TAKE TO
ROOM No. 34
THIRD
FLOOR

ENGINEER
PLEASE
VERIFY

From No. 488-495 West Pic St Street
To No. _____ Street
(USE INK OR INDELIBLE PENCIL)

Deputy
O. K. City Assessor
By
O. K. City Engineer
Deputy

1. What Purpose is the present Building used for? House & Hotel
2. Owner's name H. J. Paret Phone _____
3. Owner's address 12121 Avenue Baint Building
4. Architect's name _____ Phone _____
5. Contractor's name Alvin Planning Phone _____
6. Contractor's address _____
7. ENTIRE COST OF PROPOSED WORK {Including Plumbing, Gas Fitting, Sewers, Cesspools, Elevators, Painting, Finishing, etc.} \$ 22000
8. Class of Present Building Brick No. of Rooms at present _____
9. No. of stories in height 4 Size of present building _____

STATE ON FOLLOWING LINES JUST WHAT YOU WANT TO DO.

cut entrance and place fire door
in East wall approximately 50 feet
northward from north line of Pic St
in building located on northeast corner
of Pic and Hope Streets. Opening to be
17' x 7', two 10 inch walls & beams supporting
brick work. - Alter stone front - no structural change

I have carefully examined and read the above application and know the same is true and correct, and that all provisions of the Building Ordinances will be complied with, whether herein specified or not.

OVER

(Sign here)

(Owner or Authorized Agent)

FOR DEPARTMENT USE ONLY

PERMIT NO. <u>11010</u>	Plans and specifications checked and found to conform to Ordinances, State Laws, etc. (Use Ink) <u>HS</u> Plan Examiner	Application checked and found O. K. (Use Rubber Stamp) <u>JUL 16 1915 R.B.</u> Clerk	RECEIVED <u>JUL 18 1915</u> TODD L.A. BLDG. DEPT.
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6

E. H. Lewis #1

75

FILL IN ALL BLANKS THAT APPLY TO WORK PROPOSED TO BE DONE,
OR TO ASCERTAIN IF SAME CAN BE DONE.

10. Size of new addition.....X..... No. of Stories in height.....
11. Material of foundation.....Size footings.....Size wall.....Depth below ground.....
12. Size of Redwood Mudsills.....X..... Size of exterior studs.....X.....
13. Size of interior bearing studs.....X..... Size of interior non-bearing studs.....X.....
14. Size of first floor joist.....X..... Second floor joist.....X.....
15. State Number of Plumbing Fixtures to be installed No change in plumbing Number of gas outlets.....
16. State if there is a sewer or cesspool to be constructed on this lot.....
(No cesspools allowed where there is a street sewer)
17. Plumbing and gas fitting contractor's name.....

I have carefully examined and read the above blank and know the same is true and correct, and that all provisions of the Building Ordinance will be complied with, whether herein specified or not.

(Sign here).....

[Signature]
(Owner or Authorized Agent)

All applications must be filled out by applicant

WARD.....

PLANS AND SPECIFICATIONS
and other data must also be filed

BOARD OF PUBLIC WORKS

DEPARTMENT OF BUILDINGS

3

Application to Alter, Repair or Demolish

To the Board of Public Works of the City of Los Angeles:

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Third: That the granting of the permit does not affect or prejudice any claim of title to, or right of possession in, the property described in such permit.

REMOVED FROM		REMOVED TO		By Deputy
Lot.....	Block.....	Lot.....	Block.....	
Tract	Tract			O. K. City Assessor
.....			
.....			
.....			
Book.....	Page..... F. B. Page.....	Book.....	Page..... F. B. Page.....	

From No.....		To No.....		By Deputy
Street.....	Street.....	Street.....	Street.....	
From No.....		To No..... <u>433-5 - West Pico St</u>		O. K. City Engineer
Street.....		Street.....		

(USE INK OR INDELIBLE PENCIL)

- What Purpose is the present Building used for? Rub. Tire
- Owner's name Pacific Rubber Co. Phone Edway 9 211
- Owner's address Powert Spunners or Mr. Montgomerie American Bank Bldg
- Architect's name Marshall Phone
- Contractor's name Phone
- Contractor's address
- ENTIRE COST OF PROPOSED WORK {Including Plumbing, Gas Fitting, Sewers, Cesspools, Elevators, Painting, Finishing, etc.} \$ 175.00
- Class of Present Building C No. of Rooms at present.....
- No. of stories in height 4 Size of present building..... X
- State how many Buildings are on this lot.....
- State purpose Buildings on lot are used for.....
(Tenement House, Hotel, Residence, or any other purpose.)

STATE ON FOLLOWING LINES JUST WHAT YOU WANT TO DO.

Put partition across both stores & Put in private office
7'6" 1/4 GLASS
Same tenant

I have carefully examined and read the above application and know the same is true and correct, and that all provisions of the Ordinances and Laws governing Building Construction will be complied with, whether herein specified or not.

OVER

(Sign here) Pacific Rubber Co.
(Owner or Authorized Agent.)

FOR DEPARTMENT USE ONLY			
PERMIT NO. <u>193</u>	Plans and specifications checked and found to conform to Ordinances, State Laws, etc. (Use Ink) <u>[Signature]</u> Plan Examiner.	Application checked and found O. K. (Use Rubber Stamp) <u>JAN 11 1917 P.M.</u> Clerk	STAMPED PERMIT <u>JAN 11 1917</u> FILED

50

FILL IN ALL BLANKS THAT APPLY TO WORK PROPOSED TO BE DONE,
OR TO ASCERTAIN IF SAME CAN BE DONE.

12. Size of new addition.....X.....No. of Stories in height.....
13. Material of foundation.....Size footings.....Size wall.....Depth below ground.....
14. Size of Redwood Mudsills.....X.....Size of exterior studs.....X.....
15. Size of interior bearing studs.....X.....Size of interior non-bearing studs.....X.....
16. Size of first floor joist.....X.....Second floor joist.....X.....

I have carefully examined and read the above blank and know the same is true and correct, and that all provisions of the Ordinances and Laws governing Building Construction will be complied with, whether herein specified or not.

(Sign here).....
(Owner or Authorized Agent).

Remarks

All Applications must be filled out by Applicant.

Bldg. Form 3

PLANS AND SPECIFICATIONS
and other data must also be filed

BOARD OF PUBLIC WORKS

DEPARTMENT OF BUILDINGS

Application to Alter, Repair or Demolish

To the Board of Public Works of the City of Los Angeles:

Application is hereby made to the Board of Public Works of the City of Los Angeles, through the office of the Chief Inspector of Buildings, for a building permit in accordance with the description and for the purpose hereinafter set forth. This application is made subject to the following conditions, which are hereby agreed to by the undersigned applicant and which shall be deemed conditions entering into the exercise of the permit:

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Third: That the granting of the permit does not affect or prejudice any claim of title to, or right of possession in, the property described in such permit.

TAKE TO ROOM No. 6 FIRST FLOOR	REMOVED FROM	REMOVED TO	O. K. City Clerk	By Deputy
	Lot.....Block..... Tract.....	Lot.....Block..... Tract.....		
CITY CLERK PLEASE VERIFY	437 W Div		O. K. City Engineer	By Deputy
	Book.....Page.....F. B. Page.....	Book.....Page.....F. B. Page.....		
TAKE TO ROOM No. 405 SOUTH ANNEX	From No.	Street	O. K. City Engineer	By Deputy
	To No. 437 W Div	Street		
ENGINEER PLEASE VERIFY	(USE INK OR INDELIBLE PENCIL)			

- What Purpose is the present Building used for? *Stons Hotel*
- Owner's name *Western Union Office* Phone *4321*
- Owner's address *610 S Spring St*
- Architect's name *X* Phone
- Contractor's name *Ed Luck* Phone *12451*
- Contractor's address *316 E 29 St*
- ENTIRE COST OF PROPOSED WORK {Including Plumbing, Gas Fitting, Sowers, Cesspools, Elevators, Painting, Finishing, etc.} \$ *300.00*
- Class of Present Building *6* No. of Rooms at present
- Number of stories in height *4* Size of present building *x*
- State how many buildings are on this lot.
- State purpose buildings on lot are used for. (Tenement House, Hotel, Residence, or any other purpose.)

STATE ON FOLLOWING LINES EXACTLY WHAT ALTERATIONS, ADDITIONS, ETC., WILL BE MADE TO THIS BUILDING:

Add wood and glass partitions for offices, one tenant with on first floor

I have carefully examined and read the above application and know the same is true and correct, and that all provisions of the Ordinances and Laws governing Building Construction will be complied with, whether herein specified or not.

OVER

(Sign here)

Ed Luck
(Owner or Authorized Agent)

PERMIT NO. 8853	FOR DEPARTMENT USE ONLY		
	Plans and specifications checked and found to conform to Ordinances, State Laws, etc. <i>Ed Luck</i> Plan Examiner.	Application checked and found O. K. JUN 19 1920 Clerk.	Stamp here when permit is issued.

Ed Luck

Ed Luck

All Applications Must be Filled Out by Applicant

Bldg. Form 3

BUILDING DIVISION

PLANS AND SPECIFICATIONS
and other data must also be filed

3

DEPARTMENT OF BUILDING AND SAFETY

Application to Alter, Repair or Demolish

To the Board of Building and Safety Commissioners of the City of Los Angeles:

Application is hereby made to the Board of Building and Safety Commissioners of the City of Los Angeles, through the office of the Superintendent of Building, for a building permit in accordance with the description and for the purpose hereinafter set forth. This application is made subject to the following conditions, which are hereby agreed to by the undersigned applicant and which shall be deemed conditions entering into the exercise of the permit:

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Third: That the granting of the permit does not affect or prejudice any claim of title to, or right of possession in, the property described in such permit.

REMOVED FROM

REMOVED TO

TAKE TO ROOM No. 6 REAR OF NORTH ANNEX 1st Floor	Lot <u>Not subdivided</u> Block <u>87</u>	Lot..... Block.....	O. K. City Clerk
	Tract <u>Order Survey</u>	Tract.....	
CITY CLERK PLEASE VERIFY	Book..... Page..... F. B. Page.....	Book..... Page..... F. B. Page.....	O. K. City Engineer
	From No. <u>441</u> West <u>Pico</u>	Street.....	
TAKE TO FIRST FLOOR 242 SO. BROADWAY	To No. <u>441</u> Corner <u>Pico & Hope</u>	Street.....	Deputy
ENGINEER PLEASE VERIFY			

(USE INK OR INDELIBLE PENCIL)

- What purpose is the present Building now used for? Store rooms & Hotel
- What purpose will Building be used for hereafter? Store Room for Drug business
- Owner's name Francis S. Montgomery Phone Main 4229
- Owner's address 621 South Hope St.
- Architect's name None Phone.....
- Contractor's name J. Borgia (Lima) Phone Beacon 7078
- Contractor's address.....
- VALUATION OF PROPOSED WORK {Including Plumbing, Gas Fitting, Sewers, Cesspools, Elevators, Painting, Finishing, all Labor, etc.} \$ 500.00
- Class of present Building C No. of rooms at present.....
- Number of stories in height 4 Size of present Building.....
- State how many buildings are on this lot one
- State purpose buildings on lot are used for Store rooms & Hotel
(Apartment House, Hotel, Residence, or any other purpose.)

STATE ON FOLLOWING LINES EXACTLY WHAT ALTERATIONS, ADDITIONS, ETC., WILL BE MADE TO THIS BUILDING:

cut side entrance door 84" x 44" through plate glass window remove glass only, lay the door on floor on 1 1/2" cement base with total thickness of 2" on 1/4" sub floor & 1 x 3 O.P. flooring floor joist 2" x 6" 14" apart, with span of 18 feet, Basement floor, 2' x 10' structural change

I have carefully examined and read the above application and know the same is true and correct, and that all provisions of the Ordinances and Laws governing Building Construction will be complied with, whether herein specified or not.

OVER

(Sign here)

(Owner or Authorized Agent.)

FOR DEPARTMENT USE ONLY

PERMIT NO. <u>17317</u>	Plans and Specifications checked and found to conform to Ordinances, State Laws, etc. <u>G. K. Kitch</u> Plan Examiner	Application checked and found O. K. <u>4/1/26</u> <u>Z.C.</u> <u>H.S.D.</u> Clark	Stamp <u>RECEIVED</u> <u>JUN 10 1926</u> <u>WORLD</u>
----------------------------	--	--	--

No Plans Warburton
By Borgia

175

- I have carefully examined and read the above blank and know the same is true and correct, and that all provisions of the Ordinances and Laws governing Building Construction will be complied with, whether herein specified or not.

FOR DEPARTMENT USE ONLY

APPLICATION	O. K.
CONSTRUCTION	O. K.
ZONING	O. K.
SET-BACK LINE	O. K.
ORD. 33761 (N. S.)	O. K.
FIRE DISTRICT	O. K.

REMARKS

3

CITY OF LOS ANGELES
DEPARTMENT OF BUILDING AND SAFETY
BUILDING DIVISION

Application to Alter, Repair, Move or Demolish

To the Board of Building and Safety Commissioners of the City of Los Angeles:

Application is hereby made to the Board of Building and Safety Commissioners of the City of Los Angeles, through the office of the Superintendent of Building, for a building permit in accordance with the description and for the purpose hereinafter set forth. This application is made subject to the following conditions, which are hereby agreed to by the undersigned applicant and which shall be deemed conditions entering into the exercise of the permit:

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Third: That the granting of the permit does not affect or prejudice any claim of title to, or right of possession in, the property described in such permit.

REMOVED FROM

REMOVED TO

Lot..... Lot.....

Tract..... Tract.....

Present location of building } 1246 - So. Hope St. -
(House Number and Street)New location of building }
(House Number and Street)

Between what cross streets } Deputy.

Approved by
City Engineer.

- Purpose of PRESENT building Hotel Families..... Rooms 111
(Store, Residence, Apartment House, Hotel, or any other purpose)
- Use of building AFTER alteration or moving Same Families..... Rooms 111
- Owner (Print Name) Montgomery Properties Ltd. Phone VA-3225
- Owner's Address 621 - So. Hope St.
- Certificated Architect [Signature] State License No..... Phone.....
- Licensed Engineer [Signature] State License No..... Phone.....
- Contractor C. W. Miller State License No. 39852 Phone TW-5087
- Contractor's Address 1950 - West 65th St.
- VALUATION OF PROPOSED WORK (Including all labor and material and all permanent lighting, heating, ventilating, water supply, plumbing, fire sprinkler, electrical wiring and/or elevator equipment therein or thereon) \$ 1200.00 pm
- State how many buildings NOW } on lot and give use of each. (Residence, Hotel, Apartment House, or any other purpose)
- Size of existing building..... x..... Number of stories high 4 Height to highest point.....
- Class of building C Material of existing walls Brick Exterior framework add bathroom Wood or Steel

Describe briefly and fully all proposed construction and work:

It is proposed to add Bathrooms, consisting of toilet, bath and shower to six rooms, by utilizing portions of existing public toilet rooms, adding plaster partitions, cutting thru doors in existing walls, adding electric lights and also a ventilating forced draft system capable of changing air in each bath every 5 minutes.

Fill in Application on other Side and Sign Statement 5 minutes (OVER)

PERMIT NO. 1208	FOR DEPARTMENT USE ONLY 5518				Fee... 6.00 Stamp here when Permit is issued JAN 16 1936
	Plans and Specifications checked <u>[Signature]</u>	Zone <u>MC</u>	Fire District No. <u>1</u>		
	Corrections verified <u>[Signature]</u>	Bldg. Line <u>10 Ft.</u>	Street Widening Ft. <u>0</u>		
	Plans, Specifications and Applications rechecked and approved <u>[Signature]</u>	Application checked and approved <u>[Signature]</u>			
PLANS <u>[Signature]</u>	For Plans See	Filed with	SPRINKLER Required	Specified	Inspector <u>[Signature]</u>

PLANS, SPECIFICATIONS, and other data must be filed if required.

NEW CONSTRUCTION

Size of Addition.....
Size of Lot.....
Number of Stories when complete.....
Material of Foundation.....
Width of Footing.....
Depth of footing below ground.....
Width Foundation Wall.....
Size of Redwood Sill.....
Material Exterior Walls.....
Size of Exterior Studs.....
Size of Interior Bearing Studs.....
Joists: First Floor.....
Second Floor.....
Rafters.....
Roofing Material.....
I have carefully examined and read both sides of this completed Application and know the same is true and correct and hereby certify and agree, if a Permit is issued, that all the provisions of the Building Ordinances and State Laws will be complied with whether herein specified or not; also certify that plans and specifications, if required to be filed, will conform to all of the provisions of the Building Ordinances and State Laws.

Sign Here.....
(Owner or Authorized Agent)

By.....

FOR DEPARTMENT USE ONLY			
Application.....	Fire District.....	Bldg. Line.....	Termite Inspection.....
Construction.....	Zoning.....	Street Widening.....	Forced Draft Ventil.....

(1) REINFORCED CONCRETE
Barrels of Cement.....
Tons of Reinforcing Steel.....
(2) The building (and, or, addition) referred to in this Application is, or will be when moved, more than 100 feet from Street.....
Sign Here.....
(Owner or Authorized Agent)

(3) No required windows will be obstructed.
Sign Here.....
(Owner or Authorized Agent)
(4) There will be an unobstructed passageway at least ten (10) feet wide, extending from any dwelling on lot to a Public Street or Public Alley at least 10 feet in width.
Sign Here.....
(Owner or Authorized Agent)

REMARKS: There are 22 rooms on each floor without toilets or both, after new baths are added there will only be 20 without. These remaining 20 will still have two public toilets which is within the State Housing Act rules. New baths will have cement floors with lead pans in Dr. Walls.

PLAN CHECKING

RECEIPT NO.....

VALUATION \$.....

FEE PAID \$.....

3

CITY OF LOS ANGELES
DEPARTMENT OF BUILDING AND SAFETY
BUILDING DIVISION

Application to Alter, Repair, Move or Demolish

To the Board of Building and Safety Commissioners of the City of Los Angeles:

Application is hereby made to the Board of Building and Safety Commissioners of the City of Los Angeles, through the office of the Superintendent of Building, for a building permit in accordance with the description and for the purpose hereinafter set forth. This application is made subject to the following conditions, which are hereby agreed to by the undersigned applicant and which shall be deemed conditions entering into the exercise of the permit:

First: That the permit does not grant any right or privilege to erect any building or other structure therein described, or any portion thereof, upon any street, alley or other public place or portion thereof.

Second: That the permit does not grant any right or privilege to use any building or other structure therein described, or any portion thereof, for any purpose that is, or may hereafter be prohibited by ordinance of the City of Los Angeles.

Third: That the granting of the permit does not affect or prejudice any claim of title to, or right of possession in, the property described in such permit.

REMOVED FROM

REMOVED TO

Lot

Lot

Tract

Tract

Present location
of building

1246 S Hope St.

(House Number and Street)

New location
of building

(House Number and Street)

Between what
cross streets

Corner Pico & Hope

Approved by
City Engineer.

Deputy.

1. Purpose of PRESENT building Hotel Families 111 Rooms 111
(Store, Residence, Apartment House, Hotel, or any other purpose)

2. Use of building AFTER alteration or moving Families Rooms

3. OWNER (Print Name) Montgomery Properties Ltd Phone Wo. 617184. Owner's Address 8623 Sunset Blvd.5. Certificated Architect Wm. A. Peck State License No. W 1560 Phone W 15606. Licensed Engineer None State License No. Phone7. Contractor Glen A. Peck State License No. 20318 Phone Wo. 615608. Contractor's Address 1012 Clark St.9. VALUATION OF PROPOSED WORK (including all labor and material and all permanent lighting, heating, ventilating, water supply, plumbing, fire sprinkler, electrical wiring and/or elevator equipment therein or thereon) \$ 60.0010. State how many buildings NOW on lot and give use of each. One - Hotel
(Residence, Hotel, Apartment House, or any other purpose)11. Size of existing building x Number of stories high 4 Height to highest point12. Class of building C Material of existing walls Exterior framework
(Wood or Steel)

Describe briefly and fully all proposed construction and work:

metal bath & plaster ceiling of existing elevator shaft & patch open spots on walls thereof.No further payment

Fill in Application on other Side and Sign Statement

(OVER)

PERMIT NO.		FOR DEPARTMENT USE ONLY				Fee	
7252	Plans and Specifications checked	Zone <u>M3</u>	Fire District		Stamp here when Permit is issued <u>MAY 30 1936</u>		
	Corrections verified	Bldg. Line <u>200</u> Ft.	Street Widening <u>200</u> Ft.				
	Plans, Specifications and Applications rechecked and approved	Application checked and approved <u>9/25/36</u>	Clerk		Inspector <u>828 137162</u>		
PLANS	Required Valuation Included	Specified Fee—No					

PLANS, SPECIFICATIONS, and other data must be filed if required.

NEW CONSTRUCTION

Size of Addition.....x.....Size of Lot.....x.....Number of Stories when complete.....

Material of Foundation.....Width of Footing.....Depth of footing below ground.....

Width Foundation Wall.....Size of Redwood Sill.....Material Exterior Walls.....

Size of Exterior Studs.....Size of Interior Bearing Studs.....x.....

Joists: First Floor.....x.....Second Floor.....x.....Rafters.....x.....Roofing Material.....

I have carefully examined and read both sides of this completed Application and know the same is true and correct and hereby certify and agree, if a Permit is issued, that all the provisions of the Building Ordinances and State Laws will be complied with whether herein specified or not; also certify that plans and specifications, if required to be filed, will conform to all of the provisions of the Building Ordinances and State Laws.

Sign Here.....
By.....
Owner or Authorized Agent.....

FOR DEPARTMENT USE ONLY			
Application.....	Fire District.....	Bldg. Line.....	Termite Inspection.....
Construction.....	Zoning.....	Street Widening.....	Forced Draft Ventil.....

(1) REINFORCED CONCRETE

Barrels of Cement.....

Tons of Reinforcing Steel.....

(3) No required windows will be obstructed.

Sign Here.....
(Owner or Authorized Agent)

(4) There will be an unobstructed passageway at least ten (10) feet wide, extending from any dwelling on lot to a Public Street or Public Alley at least 10 feet in width.

Sign Here.....
(Owner or Authorized Agent)

REMARKS:

3

CITY OF LOS ANGELES
DEPARTMENT OF BUILDING AND SAFETY
BUILDING DIVISION

Application to Alter, Repair, Move or Demolish

To the Board of Building and Safety Commissioners of the City of Los Angeles:

Application is hereby made to the Board of Building and Safety Commissioners of the City of Los Angeles, through the office of the Superintendent of Building, for a building permit in accordance with the description and for the purpose hereinafter set forth. This application is made subject to the following conditions, which are hereby agreed to by the undersigned applicant and which shall be deemed conditions entering into the exercise of the permit:

First: That the permit does not grant any right or privilege to erect any building or other structure therein described, or any portion thereof, upon any street, alley or other public place or portion thereof.

Second: That the permit does not grant any right or privilege to use any building or other structure therein described, or any portion thereof, for any purpose that is, or may hereafter be prohibited by ordinance of the City of Los Angeles.

Third: That the granting of the permit does not affect or prejudice any claim of title to, or right of possession in, the property described in such permit.

REMOVED FROM

REMOVED TO

Lot..... Lot.....

Tract..... Tract.....

Present location of building } 1248 S. Hope Street
(House Number and Street)
New location of building }
(House Number and Street)
Between what cross streets }
Approved by City Engineer.
Deputy.

1. Purpose of PRESENT building.....Store.....Families.....Rooms.....
(Store, Residence, Apartment House, Hotel, or any other purpose)
2. Use of building AFTER alteration or moving.....Families.....Rooms.....
3. Owner (Print Name).....Ray Thomas, Inc.....Phone.....
4. Owner's Address.....1248 S. Hope Street.....
5. Certificated Architect.....None.....State License No.....Phone.....
6. Licensed Engineer.....None.....State License No.....Phone.....
7. Contractor.....A. HOEGGER & SONS, INC.....State License No. 30449 Phone TR. 5685
8. Contractor's Address.....745 Merchant Street.....
9. VALUATION OF PROPOSED WORK {Including all labor and material and all permanent lighting, heating, ventilating, water supply, plumbing, fire sprinkler, electrical wiring and/or elevator equipment therein or thereon} \$.....45.00.....
10. State how many buildings NOW } on lot and give use of each. }
(Residence, Hotel, Apartment House, or any other purpose)
11. Size of existing building.....x.....Number of stories high.....Height to highest point.....
12. Class of building.....D.....Material of existing walls.....Exterior framework.....
(Wood or Steel)
- Describe briefly and fully all proposed construction and work:

2 Awnings Recovered

Fill in Application on other Side and Sign Statement

(OVER)

PERMIT NO.		FOR DEPARTMENT USE ONLY		Fee.....1.00	
7360	Plans and Specifications checked	Zone	Fire District	Stamp here when Permit is issued	
	Corrections verified	Bldg. Line	No.		
	Plans, Specifications and Applications rechecked and approved	Application checked and approved	Street Widening	Inspector	
	For Plans See	Filed with	SPRINKLER		
Rec'd.....		Required Valuation Included	Specified Yes-No	2	

PLANS, SPECIFICATIONS, and other data must be filed if required.

NEW CONSTRUCTION

Size of Addition.....x.....Size of Lot.....x.....Number of Stories when complete.....
Material of Foundation.....Width of Footing.....Depth of footing below ground.....
Width Foundation Wall.....Size of Redwood Sill.....x.....Material Exterior Walls.....
Size of Exterior Studs.....x.....Size of Interior Bearing Studs.....x.....
Joists: First Floor.....x.....Second Floor.....x.....Rafters.....x.....Roofing Material.....
I have carefully examined and read both sides of this completed Application and know the same is true and correct and hereby certify and agree, if a Permit is issued, that all the provisions of the Building Ordinances and State Laws will be complied with whether herein specified or not; also certify that plans and specifications, if required to be filed, will conform to all of the provisions of the Building Ordinances and State Laws.

Sign Here.....
(Owner or Authorized Agent)

By.....

FOR DEPARTMENT USE ONLY			
Application	Fire District.....	Bldg. Line	Termite Inspection.....
Construction.....	Zoning	Street Widening	Forced Draft Ventil.....

(1) REINFORCED CONCRETE
Barrels of Cement.....
Tons of Reinforcing Steel.....
(2) The building (and, or, addition) referred to in this Application is, or will be when moved, more than 100 feet from _____ Street
Sign Here.....
(Owner or Authorized Agent)

(3) No required windows will be obstructed.
Sign Here.....
(Owner or Authorized Agent)
(4) There will be an unobstructed passageway at least ten (10) feet wide, extending from any dwelling on lot to a Public Street or Public Alley at least 10 feet in width.
Sign Here.....
(Owner or Authorized Agent)

REMARKS:

CITY OF LOS ANGELES

DEPARTMENT OF BUILDING AND SAFETY

BUILDING DIVISION

Application to Alter, Repair, Move or Demolish

To the Board of Building and Safety Commissioners of the City of Los Angeles:

Application is hereby made to the Board of Building and Safety Commissioners of the City of Los Angeles, through the office of the Superintendent of Building, for a building permit in accordance with the description and for the purpose hereinafter set forth. This application is made subject to the following conditions, which are hereby agreed to by the undersigned applicant and which shall be deemed conditions entering into the exercise of the permit:

First: That the permit does not grant any right or privilege to erect any building or other structure therein described, or any portion thereof, upon any street, alley or other public place or portion thereof.

Second: That the permit does not grant any right or privilege to use any building or other structure therein described, or any portion thereof, for any purpose that is, or may hereafter be prohibited by ordinance of the City of Los Angeles.

Third: That the granting of the permit does not affect or prejudice any claim of title to, or right of possession in, the property described in such permit.

REMOVED FROM

REMOVED TO

Lot.....

Lot.....

Tract.....

Tract.....

Present location of building } 1246 So Hope St
(House Number and Street)

New location of building }
(House Number and Street)

Between what cross streets } 12 St and Pico

Approved by
City Engineer.

Deputy.

1. Purpose of PRESENT building Hotel Families.....Rooms.....
(Store, Residence, Apartment House, Hotel, or any other purpose)

2. Use of building AFTER alteration or moving Families.....Rooms.....

3. Owner (Print Name) MONTGOMERY PROPERTY INC. Phone.....

4. Owner's Address 8623 Sunset Blvd.

5. Certificated Architect.....State License No.....Phone.....

6. Licensed Engineer.....State License No.....Phone.....

7. Contractor Standard Roof Co State License No. 5374 Phone ad 3217

8. Contractor's Address 1856 E 412 St

9. VALUATION OF PROPOSED WORK {Including all labor and material and all permanent lighting, heating, ventilating, water supply, plumbing, fire sprinkler, electrical wiring and/or elevator equipment therein or thereon} \$ 490.00

10. State how many buildings NOW on lot and give use of each. One Hotel
(Residence, Hotel, Apartment House, or any other purpose)

11. Size of existing building 90' x 120' Number of stories high 4 Height to highest point 56'

12. Class of building Material of existing walls Brick Exterior framework (Wood or Steel)

Describe briefly and fully all proposed construction and work:

Apply new composition Roof

Fill in Application on other Side and Sign Statement

(OVER)

PERMIT NO. 41391	FOR DEPARTMENT USE ONLY				Fee..... 2.50 Stamp here when Permit is issued OCT. 20 1939
	Plans and Specifications checked	Zone M12	Fire District 1		
	Corrections verified	Bldg. Line NO	Street Widening NO		
	Plans, Specifications and Applications rechecked and approved 10/20/39 M. H. Clark				
PLANS	For Plans See	Filed with	Required Valuation Included		Inspector C. J. Smith

PLANS, SPECIFICATIONS, and other data must be filed if required.

NEW CONSTRUCTION

Size of Addition.....x.....Size of Lot.....x.....Number of Stories when complete.....
Material of Foundation.....Width of Footing.....Depth of footing below ground.....
Width Foundation Wall.....Size of Redwood Sill.....Material Exterior Walls.....
Size of Exterior Studs.....Size of Interior Bearing Studs.....
Joists: First Floor.....x.....Second Floor.....x.....Rafters.....x.....Roofing Material.....
I have carefully examined and read both sides of this completed Application and know the same is true and correct and hereby certify and agree, if a Permit is issued, that all the provisions of the Building Ordinances and State Laws will be complied with whether herein specified or not; also certify that plans and specifications, if required to be filed, will conform to all of the provisions of the Building Ordinances and State Laws.

Sign Here.....

By *Charles E. Schenk*
(Owner or Authorized Agent)

FOR DEPARTMENT USE ONLY			
Application	Fire District	Bldg. Line	Termite Inspection.....
Construction.....	Zoning	Street Widening	Forced Draft Ventil.....

(1) REINFORCED CONCRETE
Barrels of Cement.....
Tons of Reinforcing Steel.....
The building (and, or, addition) referred to in this Application is, or will be when moved, more than 100 feet from
Street.....
Sign Here.....
(Owner or Authorized Agent) *Charles E. Schenk*

(3) No required windows will be obstructed.
Sign Here.....
(Owner or Authorized Agent)
(4) There will be an unobstructed passageway at least ten (10) feet wide, extending from any dwelling on lot to a Public Street or Public Alley at least 10 feet in width.
Sign Here.....
(Owner or Authorized Agent)

REMARKS:

JUN 6 - 1941

USE INK OR
INDELIBLE PENCIL

Bldg. Form 3

CITY OF LOS ANGELES

DEPARTMENT OF BUILDING AND SAFETY

BUILDING DIVISION

Application to Alter, Repair, Move or Demolish

To the Board of Building and Safety Commissioners of the City of Los Angeles:
Application is hereby made to the Board of Building and Safety Commissioners of the City of Los Angeles, through the office of the Superintendent of Building, for a building permit in accordance with the description and for the purpose hereinafter set forth. This application is made subject to the following conditions, which are hereby agreed to by the undersigned applicant and which shall be deemed conditions entering into the exercise of the permit:

First: That the permit does not grant any right or privilege to erect any building or other structure therein described, or any portion thereof, upon any street, alley or other public place or portion thereof.

Second: That the permit does not grant any right or privilege to use any building or other structure therein described, or any portion thereof, for any purpose that is, or may hereafter be prohibited by ordinance of the City of Los Angeles.

Third: That the granting of the permit does not affect or prejudice any claim of title to, or right of possession in, the property described in such permit.

REMOVED FROM

REMOVED TO

Lot.....

Tract.....

Present location of building } 1248 So. Hope Street. Morrison Hotel.
(House Number and Street)

New location of building } 1248
(House Number and Street)

Between what cross streets } Deputy.

Approved by
City Engineer.

1. Purpose of PRESENT building..... Families..... Rooms.....
(Store, Residence, Apartment House, Hotel, or any other purpose)

2. Use of building AFTER alteration or moving..... Families..... Rooms.....

3. Owner (Print Name)..... Morrison Hotel..... Phone.....

4. Owner's Address..... Same.....

5. Certificated Architect..... State License No. Phone

6. Licensed Engineer..... State License No. Phone

7. Contractor..... HOGGEE & SONS, INC. State License No. 30449 Phone T 5685

8. Contractor's Address.....

9. VALUATION OF PROPOSED WORK {Including all labor and material and all permanent lighting, heating, ventilating, water supply, plumbing, fire sprinkler, electrical wiring and/or elevator equipment therein or thereon} \$ 38.00

10. State how many buildings NOW } on lot and give use of each. (Residence, Hotel, Apartment House, or any other purpose)

11. Size of existing building.....x..... Number of stories high..... Height to highest point.....

12. Class of building..... Material of existing walls..... Exterior framework.....
(Wood or Steel)

Describe briefly and fully all proposed construction and work:

To recover entrance Canopy and reset standards

5535

Fill in Application on other Side and Sign Statement

(OVER)

PERMIT NO. 13876 PLANS Rec'd	FOR DEPARTMENT USE ONLY				Fee ... Stamp here when Permit is issued JUN - 6 1941 Inspector HRC
	Plans and Specifications checked	Zone	Fire District		
	Corrections verified	Bldg. Line	Street Widening		
	Plans, Specifications and Applications rechecked and approved	Application checked and approved			
	For Plans See	Filed with	SPRINKLER	Specified	
			Required	Yes—No	
			Valuation Included		

PLANS, SPECIFICATIONS, and other data must be filed if required.

NEW CONSTRUCTION

Size of Addition.....X.....Size of Lot.....X.....Number of Stories when complete.....

Material of Foundation.....Width of Footing.....Depth of Footing below ground.....

Width Foundation Wall.....Size of Redwood Sill.....X.....Material Exterior Walls.....

Size of Exterior Studs.....X.....Size of Interior Bearing Studs.....X.....

Joists: First Floor.....X.....Second Floor.....X.....Rafters.....X.....Roofing Material.....

I have carefully examined and read both sides of this completed Application and know the same is true and correct and hereby certify and agree, if a Permit is issued, that all the provisions of the Building Ordinances and State Laws will be complied with whether herein specified or not; also certify that plans and specifications, if required to be filed, will conform to all of the provisions of the Building Ordinances and State Laws.

Sign Here.....**A. HOKER & SONS, INC.**.....

(Owner or Authorized Agent)

By.....

FOR DEPARTMENT USE ONLY

Application	Fire District.....	Bldg. Line	RECEIVED BLDG. & SAFETY	Permit Inspection.....
Construction.....	Zoning	Street Widening	CASH <input type="checkbox"/> CASHIERS CHECK <input type="checkbox"/>	Forced Draft Ventil.....

(1) REINFORCED CONCRETE

Barrels of Cement.....
Tons of Reinforcing Steel.....

(2) The building (and, or, addition) referred to in this Application is, or will be when moved, ~~none~~ **none** feet from **Street** **Opened By** **Checked By** **Sign Here**.....
(Owner or Authorized Agent)

(3) No required windows will be obstructed.

(4) There will be an unobstructed passageway at least ten (10) feet wide, extending from any dwelling on lot to a Public Street or Public Alley at least 10 feet in width. **Sign Here**.....
(Owner or Authorized Agent)

REMARKS:

3

ALTER, REPAIR OR DEMOLISH AND FOR A Certificate of Occupancy

OF
BUILDING AND SAFETY
BUILDING DIVISION

Lot No. _____

Tract _____

Location of Building 441 W. Pine (House Number and Street)

Approved by
City Engineer

Between what cross streets GRAND AVE & HOPE ST. Deputy.

USE INK OR INDELIBLE PENCIL

1. Present use of building DRUG STORE Families _____ Rooms _____
(Store, Dwelling, Apartment House, Hotel or other purpose)

2. State how long building has been used for present occupancy _____

3. Use of building AFTER alteration or moving Same Families _____ Rooms _____

4. Owner ARDEN FARM CO. Phone 31-1131

5. Owner's Address 2102 S. 155th Ave. P. O.

6. Certificated Architect _____ State License No. _____ Phone _____

7. Licensed Engineer _____ State License No. _____ Phone _____

8. Contractor CO-OPERATIVE SIGN CO State License No. 75670 Phone CA 4-51

9. Contractor's Address 3317 N. MISSION RD.

10. VALUATION OF PROPOSED WORK (including all labor and material and all permanent fixtures, heating, ventilation, water supply, plumbing, fire sprinkler, electrical wiring and elevator equipment therein or thereon) 250

11. State how many buildings NOW on lot and give use of each _____ (Store, Dwelling, Apartment House, Hotel or other purpose)

12. Size of existing building 30 x 50 Number of stories high 1 Height to highest point 15'

13. Material Exterior Walls MASONRY Exterior framework _____ (Wood, Steel or Masonry) (Wood or Steel)

14. Describe briefly all proposed construction and work:

ERECT 2 FLAT METAL FACE SIGNS
(NO - NEON)

NEW CONSTRUCTION

15. Size of Addition _____ x _____ Size of Lot _____ x _____ Number of Stories when complete _____

16. Footing: Width _____ Depth in Ground _____ Width of Wall _____ Size of Floor Joists _____ x _____

17. Size of Studs _____ x _____ Material of Floor _____ Size of Rafters _____ x _____ Type of Roofing _____

I hereby certify that to the best of my knowledge and belief the above application is correct and that this building or construction work will comply with all laws, and that in the doing of the work authorized thereby I will not employ any person in violation of the Labor Code of the State of California relating to Workmen's Compensation Insurance.

Sign here

CO-OPERATIVE SIGN CO

By [Signature] (Owner or Authorized Agent)

FOR DEPARTMENT USE ONLY

PLAN CHECKING				REINFORCED CONCRETE		FEES	
Dates _____				Bbls. Cement _____		Bldg. Per. _____	
Receipt No. _____				Tons of Reinforcing Steel _____		Cert. of Occupancy _____	
Valuation \$ _____						Total <u>250</u>	
Fee Paid \$ _____							
TYPE	GROUP	MEASUREMENT No. Occupancy	Inside Lot	Key Lot	Lot Area	Foot rear _____	
<u>111</u>	<u>1</u>		Corner Lot	Corner Lot Keyed		Fl. side _____	
PERMIT No.		Plans and Specifications checked		Zone <u>111-2</u>	Fire District	District Map No. <u>1</u>	
<u>20178</u>		Corrections noted		Map Line	Acres Within		
		Plans, Specifications and Application rechecked and approved		Application checked and approved		Stamp here when permit is issued <u>NOV 15 1948</u>	
PLANS		For Plans See		Condition Inspection	SPEAKER	Inspector	
		Filed with		Specified—Required		Valuation Included	
Rec'd				Yes—No		<u>[Signature]</u>	

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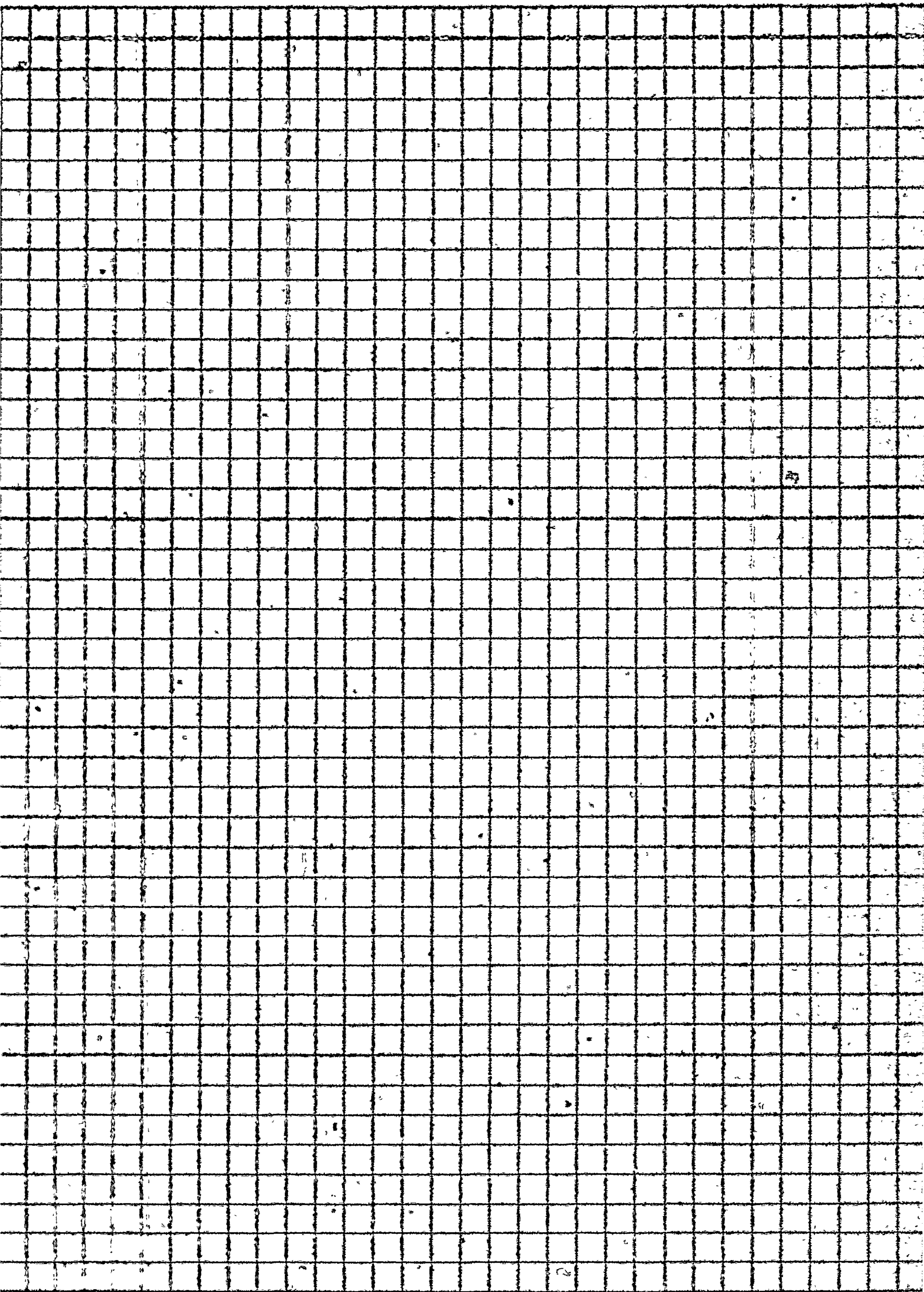
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FORM B-3
CITY OF LOS ANGELES
DEPARTMENT
OF
BUILDING AND SAFETY
BUILDING DIVISION

TYPE OF RECEIPT	DATE ISSUED	TRACER NO. (M)	RECEIPT NO.	CODE	FEE PAID
Plan Checking	OCT - 9 1951		LA12408		
Supplemental Plan Checking					
Building Permit	OCT - 9 1951		LA17401		



3

● APPLICATION TO
ALTER, REPAIR, or DEMOLISH
AND FOR A
Certificate of Occupancy

Form B-3
CITY OF LOS ANGELES
DEPARTMENT
OF
BUILDING AND SAFETY
BUILDING DIVISION

Lot No. 6

Tract 17683

Location of Building 441 W. PICO BLVD
(House Number and Street)

Approved by
City Engineer

Between what cross streets? Grand & Hope

Deputy.

USE INK OR INDELIBLE PENCIL

1. Present use of building Store RESTAURANT Families Rooms
(Store, Dwelling, Apartment House, Hotel or other purpose)

2. State how long building has been used for present occupancy 10 yrs

3. Use of building AFTER alteration or moving Restaurant Families Rooms

4. Owner RAYMOND ZEFMAN Phone DU 4-7062
(Print Name)

5. Owner's Address 123 S. SERRANO P. O. L.A.

6. Certificated Architect State License No. Phone

7. Licensed Engineer State License No. Phone

8. Contractor SELF State License No. Phone

9. Contractor's Address 123 S. SERRANO

10. VALUATION OF PROPOSED WORK Including all labor and material and all permanent
lighting, heating, ventilating, water supply, plumbing,
fire sprinkler, electrical wiring and elevator
equipment therein or thereon. \$ 200.00

11. State how many buildings NOW } 1 HOTEL + 2 STORES
on lot and give use of each. (Store, Dwelling, Apartment House, Hotel or other purpose)

12. Size of existing building 20 x 90 Number of stories high 3 Height to highest point 40'

13. Material Exterior Walls MASONRY Exterior framework WOOD
(Wood, Steel or Masonry) (Wood or Steel)

14. Describe briefly all proposed construction and work:

Intend to construct 2 partitions
partitions to enclose kitchen
NO CHANGE IN OCCUPANCY

NEW CONSTRUCTION

15. Size of Addition x Size of Lot x Number of Stories when complete

16. Footing: Width Depth in Ground Width of Wall Size of Floor Joists x

17. Size of Studs x Material of Floor Size of Rafters x Type of Roofing

I hereby certify that to the best of my knowledge and belief the above application is correct and that this building or construction work will comply with all laws, and that in the doing of the work authorized thereby I will not employ any person in violation of the Labor Code of the State of California relating to Workmen's Compensation Insurance.

Sign here Raymond Zefman
(Owner or Authorized Agent)

DISTRICT
OFFICE

By

FOR DEPARTMENT USE ONLY

PLAN CHECKING

Valuation \$ 200
Fee \$ 100

OCCUPANCY SURVEY

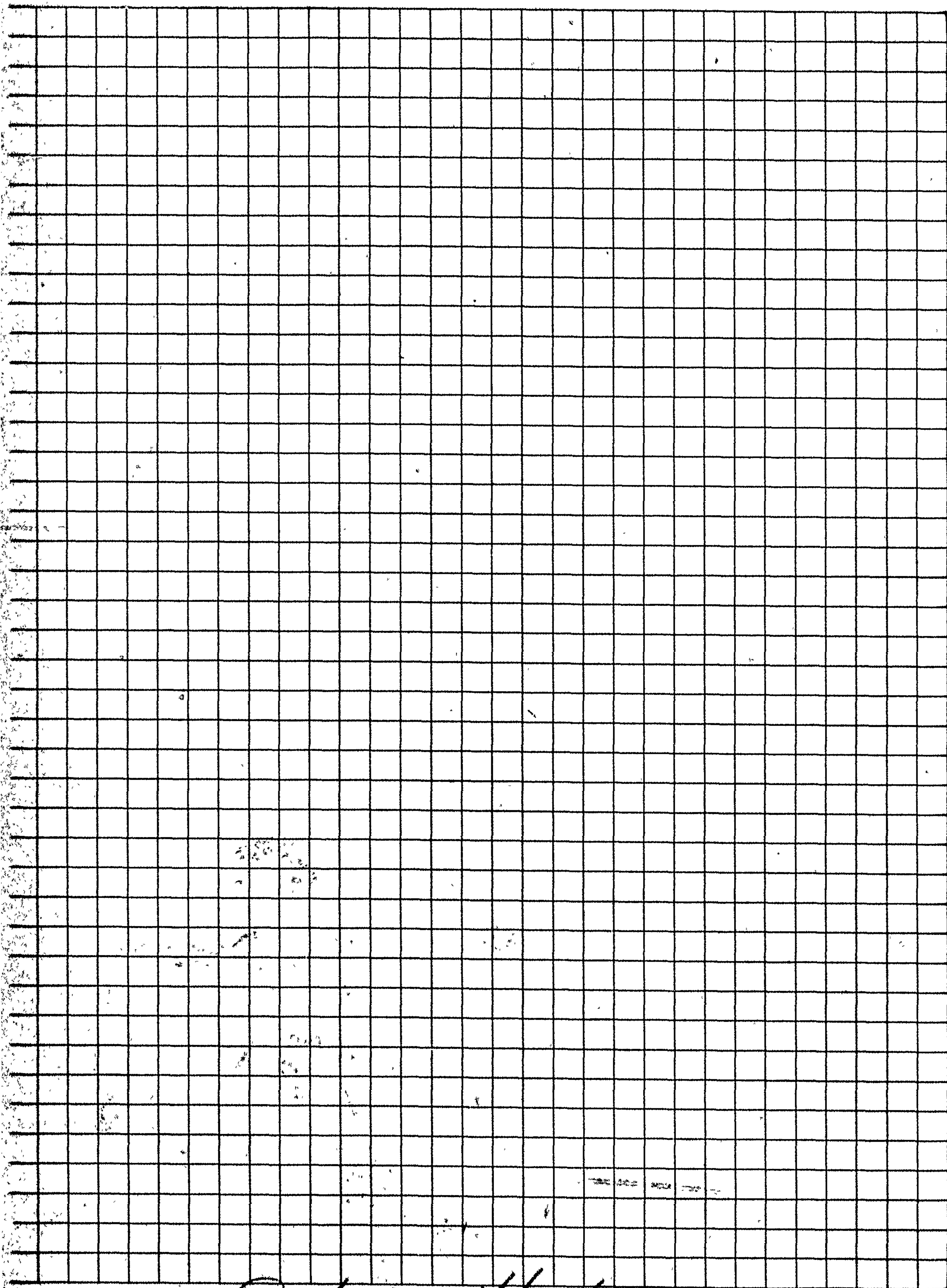
Area of Bldg. Sq. Ft.
Fee \$

Investigation Fee \$
Cert. of
Occupancy Fee \$ 2.00
Bldg. Permit Fee \$ 2.00
Total \$

TYPE <u>III A</u>	Maximum No. Occupants <u>8</u>	Inside Lot	Key Lot	Lot Size <u>90.06</u> <u>149.46</u>	<u>X</u> Ft. rear alley	Clerk <u>Harker</u>
GROUP <u>B-2</u>	Plans and Specifications checked <u>Amnaw</u>	Corner Lot	Corner Lot Keyed <u>Zone</u>	<u>91.28</u> x <u>164.12</u>	<u>X</u> Ft. side alley	
For Plans See	Correction Verified <u>Amnaw</u>		Bldg. Line <u> </u> Ft.	Fire District No. <u>1</u> <u>72</u> <u>80</u>	District Map No. <u>5518</u>	
Filed with	Plans, Specifications and Application rechecked and approved <u>Amnaw</u>		Continuous Inspection	Street Widening <u> </u> Ft.	Application checked and approved <u>Dick</u> <u>SEP 1 1954</u> Clerk	
				SPRINKLER Specified—Required Valuation Included Yes—No	Inspector <u>R. J. B.</u>	

DO NOT WRITE BELOW THIS LINE

TYPE OF RECEIPT	DATE ISSUED	TRACER NO. (M)	RECEIPT NO.	CODE	FEE PAID
Plan Checking	SEP 1 1954		LA55818		
Supplemental Plan Checking	SEP 1 1954		LA92907		
Building Permit					



Interior Work Only

3

APPLICATION TO
ALTER, REPAIR, or DEMOLISH
AND FOR A
Certificate of Occupancy

Westbrook
Form B-3
CITY OF LOS ANGELES
DEPARTMENT
OF
BUILDING AND SAFETY
BUILDING DIVISION

Lot No.

Tract

Location of Building 441 W Pico Blvd
(House Number and Street)

Approved by
City Engineer

Between what cross streets? Grand + Hope Sts

Deputy.

USE INK OR INDELIBLE PENCIL

1. Present use of building Restaurant
(Store, Dwelling, Apartment House, Hotel or other purpose) Families Rooms

2. State how long building has been used for present occupancy 20 yrs

3. Use of building AFTER alteration or moving Same Families Rooms

4. Owner Francis Montgomery (Print Name) Phone

5. Owner's Address 441 W Pico Blvd P. O. L.A.

6. Certificated Architect None State License No. Phone

7. Licensed Engineer None State License No. Phone

8. Contractor Harry M. Lukens State License No. 17869 Phone

9. Contractor's Address 1419 Essex St

10. VALUATION OF PROPOSED WORK
Including all labor and material and all permanent lighting, heating, ventilating, water supply, plumbing, fire sprinkler, electrical wiring and elevator equipment therein or thereon. \$600.00

11. State how many buildings NOW on lot and give use of each. 1
(Store, Dwelling, Apartment House, Hotel or other purpose)

12. Size of existing building 90 x 160 Number of stories high 5 Height to highest point 60'

13. Material Exterior Walls Masonry Exterior framework Wood Roof
(Wood, Steel or Masonry) (Wood or Steel)

14. Describe briefly all proposed construction and work:

Install new mens toilet room

NEW CONSTRUCTION

15. Size of Addition x Size of Lot x Number of Stories when complete

16. Footing: Width Depth in Ground Width of Wall Size of Floor Joists x

17. Size of Studs x Material of Floor Size of Rafters x Type of Roofing

I hereby certify that to the best of my knowledge and belief the above application is correct and that this building or construction work will comply with all laws, and that in the doing of the work authorized thereby I will not employ any person in violation of the Labor Code of the State of California relating to Workmen's Compensation Insurance.

Sign here J. H. Lukens
(Owner or Authorized Agent)

DISTRICT
OFFICE

By

FOR DEPARTMENT USE ONLY

PLAN CHECKING

OCCUPANCY SURVEY

Valuation \$600-
Fee \$2.00
Area of Bldg. Sq. Ft.
Fee \$
Investigation Fee \$
Cert. of
Occupancy Fee \$
Bldg. Permit Fee \$400
Total \$

TYPE Maximum No. Inside Lot Key Lot Lot Size
HHA Occupants No
Corner Lot Corner Lot Keyed

GROUP Plans and Specifications checked Zone Fire District
B-2 Annals M-2 No
For Plans See Correction Verified Bldg. Line Street Widening
Application checked and approved

Filed with Plans Specifications and Application rechecked and approved. Continuous Inspection SPINKLER
J. H. Murray Specified-Required
Valuation Included
Yes- No

Inspector
Clerk

DO NOT WRITE BELOW THIS LINE

TYPE OF RECEIPT

DATE ISSUED

TRACER NO. (M)

RECEIPT NO.

CODE

FEE PAID

Plan Checking

SEP 16 1954

LA56155

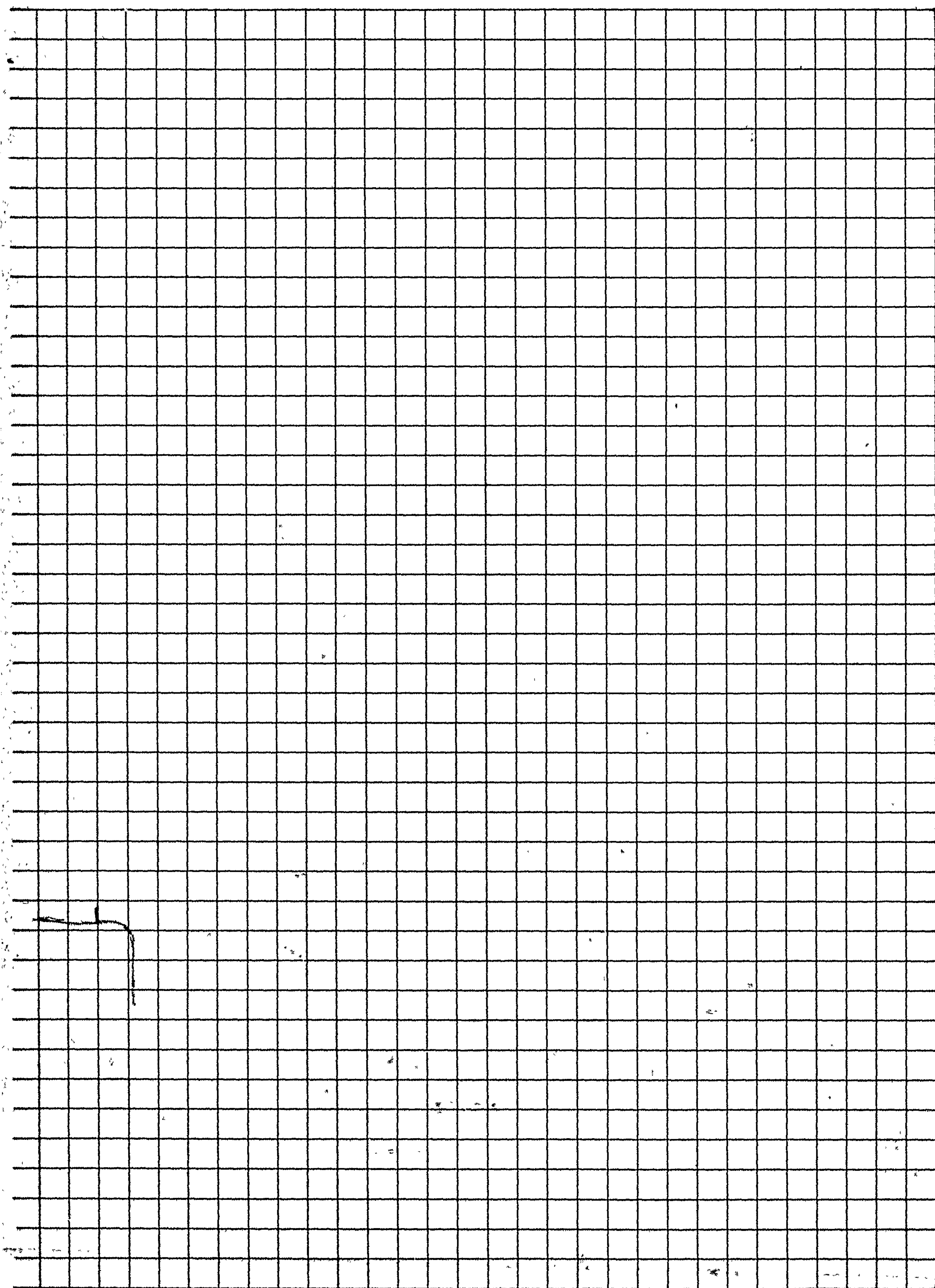
Supplemental Plan Checking

SEP 16 1954

Building Permit

LA56156

LA97357



3

APPLICATION TO
ALTER, REPAIR, or DEMOLISH
AND FOR A
Certificate of Occupancy

Form B-3
CITY OF LOS ANGELES
DEPARTMENT
OF
BUILDING AND SAFETY
BUILDING DIVISION

Lot No.

Tract

Location of Building 441 W. PICO BLVD. (House Number and Street)

Between what cross streets? COR PICO HOPE STREETS

Approved by
City Engineer

Deputy,

USE INK OR INDELIBLE PENCIL

1. Present use of building STORE & OFFICES Families Rooms

2. State how long building has been used for present occupancy 20 YEARS

3. Use of building AFTER alteration or moving SAME Families Rooms

4. Owner F. MONTGOMERY (Print Name) Phone

5. Owner's Address 441 W. PICO P. O.

6. Certificated Architect License No. Phone

7. Licensed Engineer License No. Phone

8. Contractor H. M. LUKENS License No. 17968 Phone R179296

9. Contractor's Address 1419 ESSEX ST. LA 21

10. VALUATION OF PROPOSED WORK Including all labor and material and all permanent lighting, heating, ventilating, water supply, plumbing, fire sprinkler, electrical wiring and elevator equipment therein or thereon. \$ 400.00

11. State how many buildings NOW on lot and give use of each. 1 - STORE & OFFICES (Store, Dwelling, Apartment House, Hotel or other purpose)

12. Size of existing building 40 x 160. Number of stories high 4. Height to highest point 70'

13. Material Exterior Walls MASONRY (Wood, Steel or Masonry) Exterior framework MASONRY (Wood or Steel)

14. Describe briefly all proposed construction and work:

REMOVE 16 LIN' OF BLK HDG. GLASS AND
REPLACE WITH FLAGSTONE VENEER &
GLASS NO STRUCTURAL CHG.

NEW CONSTRUCTION

15. Size of Addition x. Size of Lot x. Number of Stories when complete.

16. Footing: Width. Depth in Ground. Width of Wall. Size of Floor Joists x.

17. Size of Studs x. Material of Floor. Size of Rafters x. Type of Roofing.

I hereby certify that to the best of my knowledge and belief the above application is correct and that this building or construction work will comply with all laws, and that in the doing of the work authorized thereby I will not employ any person in violation of the Labor Code of the State of California relating to Workmen's Compensation Insurance.

Sign here H. M. LUKENS (Owner or Authorized Agent)

By R. J. Lukens

DISTRICT
OFFICE

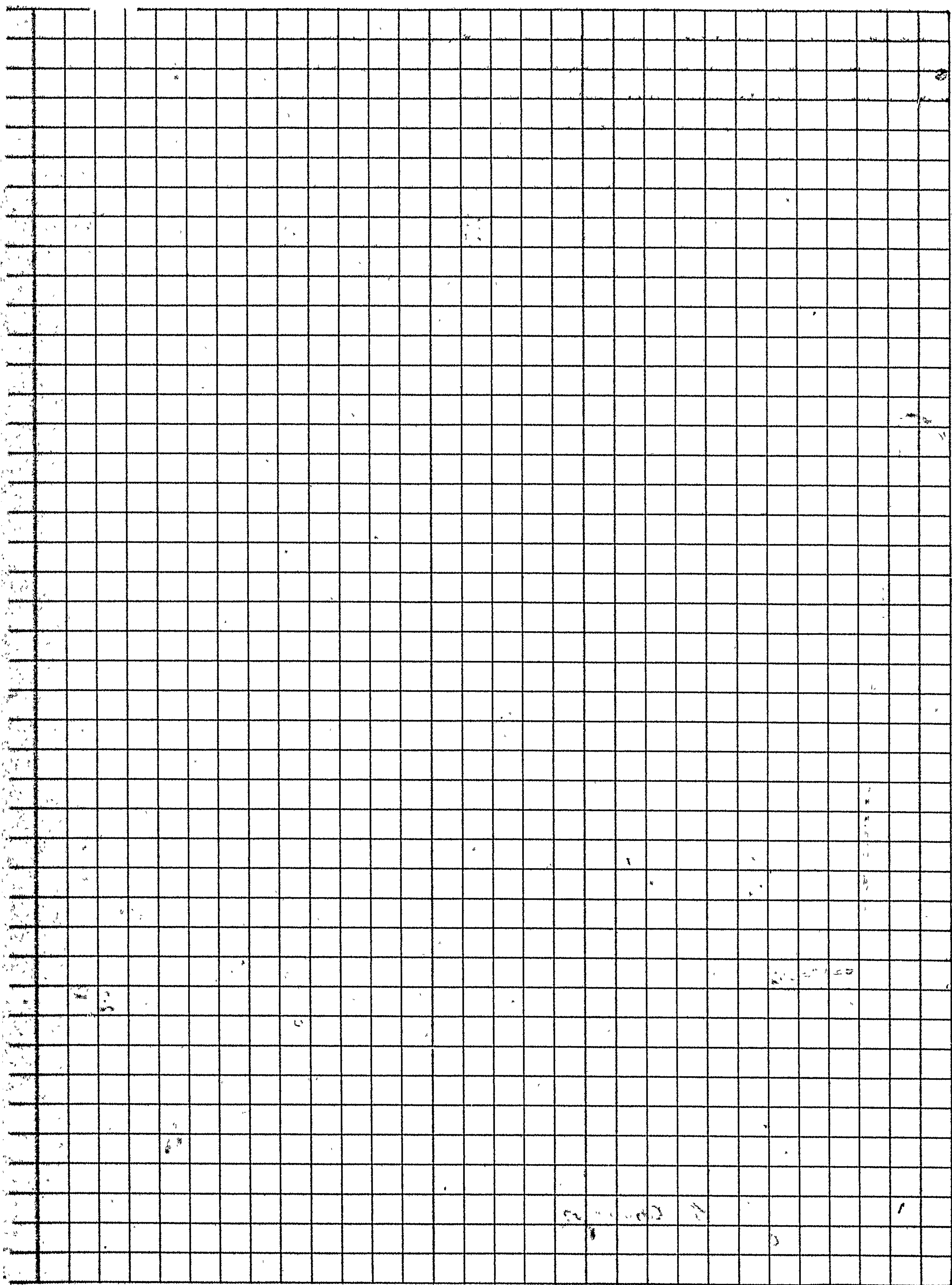
FOR DEPARTMENT USE ONLY

PLAN CHECKING				OCCUPANCY SURVEY		Investigation Fee \$.	
Valuation \$ 400				Area of Bldg. Sq. Ft.		Cert. of Occupancy Fee \$ 3.00	
Fee \$ 1.00				Fee \$		Bldg. Permit Fee \$ 3.00	
Total \$				Total \$		Total \$	
TYPE	Maximum No. Occupants	Inside Lot	Key Lot	Lot Size	Ft. rear alley		Clerk
1		Corner Lot	Corner Lot Keyed	66 GAL	Ft. side alley		Tom
GROUP	Plans and Specifications checked	Zone	Fire District	No. 1	District Map No. 5518		
For Plans Sec	Correction Verified	Bldg. Line	Street Widening		Application checked and approved		
Filed with	Plans, Specifications and Application rechecked and approved.	Continuous Inspection	SPRINKLER Specified—Required Valuation Included Yes— No		SEP 29 1954 Clerk		

DO NOT WRITE BELOW THIS LINE

TYPE OF RECEIPT	DATE ISSUED	TRACER NO. (M)	RECEIPT NO.	CODE	FEE PAID
Plan Checking	SEP 29 1954		LA56499		
Supplemental Plan Checking	SEP 29 1954				
Building Permit			LA 0059		

6215



3

APPLICATION TO ALTER - REPAIR - DEMOLISH AND FOR CERTIFICATE OF OCCUPANCY

CITY OF LOS ANGELES

DEPT. OF BUILDING AND SAFETY

1. LEGAL LOT 6	BLK.	TRACT 17683	DIST. MAP 5518
2. BUILDING ADDRESS 439-441 W. Pico Blvd.		APPROVED	ZONE M-2
3. BETWEEN CROSS STREETS Grand Ave. AND Hope St.		FIRE DIST I 76/80	
4. PRESENT USE OF BUILDING Hotel & Stores(1st Flr.)		NEW USE OF BUILDING Same	
5. OWNER F. Montgomery	PHONE		INSIDE KEY COR. LOT X REV. COR.
6. OWNER'S ADDRESS 439 W. Pico Blvd.	P.O.	ZONE	LOT SIZE 91.49x164.12
7. CERT ARCH	STATE LICENSE	PHONE	90.06 149.46
8. LIC. ENGR.	STATE LICENSE	PHONE	REAR ALLEY SIDE ALLEY BLDG. LINE
9. CONTRACTOR Harry M. Lukens, Inc.	STATE LICENSE 169000	PHONE RI 77191	AFFIDAVITS
10. CONTRACTOR'S ADDRESS 419 Essex St.	P.O. L.A.	ZONE 21	
11. SIZE OF EXISTING BLDG. 95 x 165	STORIES 4	HEIGHT 50	NO. OF EXISTING BUILDINGS ON LOT AND USE 1
12. MATERIAL EXT. WALLS: <input type="checkbox"/> WOOD <input type="checkbox"/> METAL <input type="checkbox"/> CONC. BLOCK <input type="checkbox"/> STUCCO <input checked="" type="checkbox"/> BRICK <input type="checkbox"/> CONCRETE		ROOF CONST. <input checked="" type="checkbox"/> WOOD <input type="checkbox"/> STEEL <input type="checkbox"/> CONC. <input type="checkbox"/> OTHER	ROOFING comp.
3 439-441 W. Pico Blvd.		DISTRICT OFFICE L.A.	
13. VALUATION: TO INCLUDE ALL FIXED EQUIPMENT REQUIRED TO OPERATE AND USE PROPOSED BUILDING. \$700.00		DWELL. UNITS	
14. SIZE OF ADDITION STORIES HEIGHT		VALUATION APPROVED partitions/Rehmer	
15. NEW WORK: EXT. WALLS remove existing non bearing/partitions & install new store front		APPLICATION CHECKED Foth *	
C. OF O. ISSUED		PLANS CHECKED Rehmer	
I certify that in doing the work authorized hereby I will not employ any person in violation of the Labor Code of the State of California relating to workmen's compensation insurance.		CORRECTIONS VERIFIED	
SIGNED: <i>Harry M. Lukens</i>		PLANS APPROVED Rehmer	
This Form When Properly Validated is a Permit to Do the Work Described.		APPLICATION APPROVED Rehmer	
TYPE III-A	GROUP G-1	MAX. OCC. 35	P.C. \$2.00
S.P.C.	E.P. 4.50	I.F.	O.S.
C/O			

VALIDATION

CASHIER'S USE ONLY

LA78349

JUL-29-57

43360

A - 2 CS

2.00

JUL-29-57

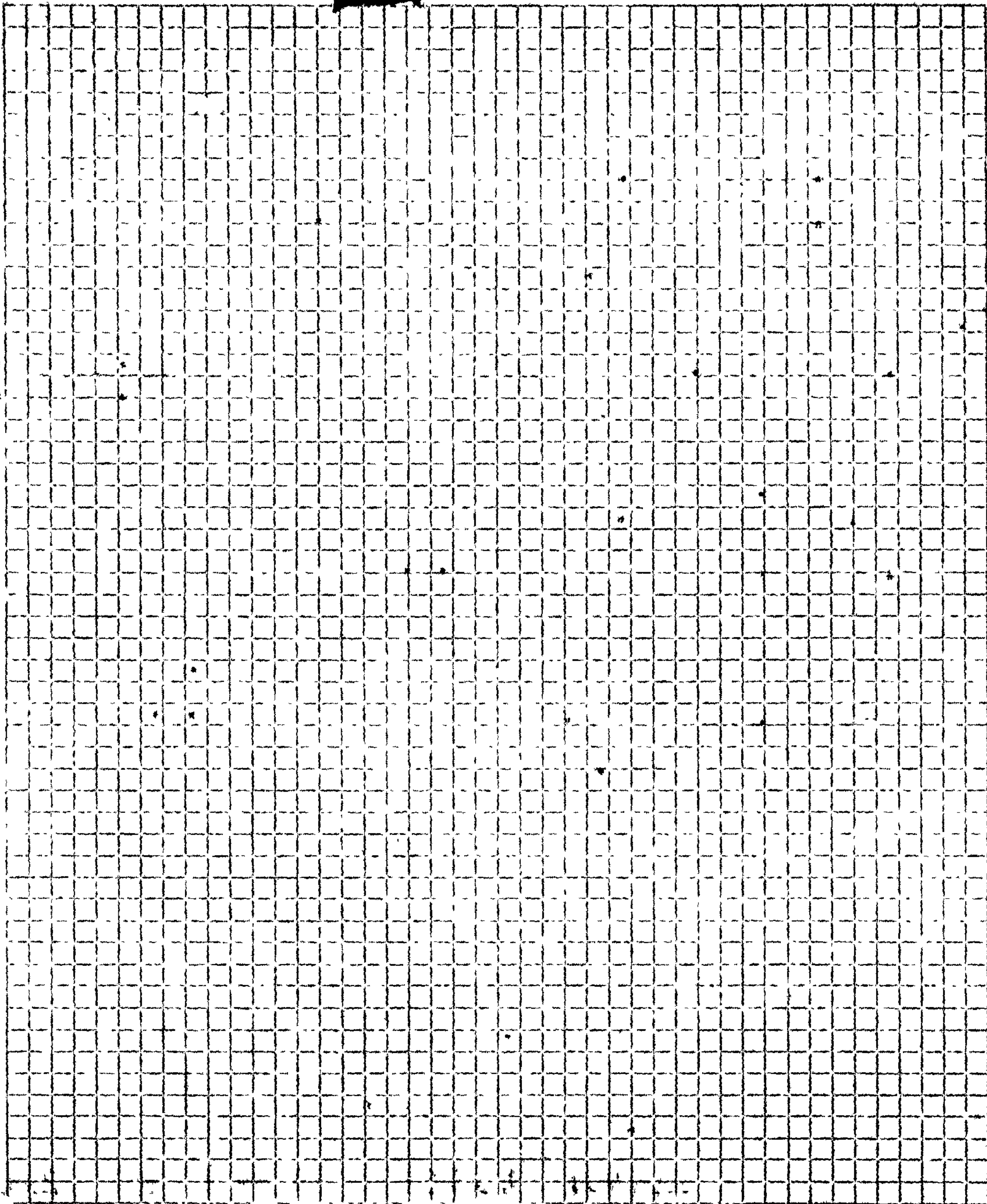
43361

A - 1 CS

4.50

INSTRUCTIONS:

1. Applicant to Complete Numbered Items Only.
2. Plot Plan Required on Back of Original.



ON PLOT PLAN SHOW ALL BUILDINGS ON LOT AND USE OF EACH

3

APPLICATION TO ALTER - REPAIR - DEMOLISH AND FOR CERTIFICATE OF OCCUPANCY

CITY OF LOS ANGELES

DEPT. OF BUILDING AND SAFETY

1. LEGAL LOT 6	BLK.	TRACT 17683	DIST. MAP 5518
2. BUILDING ADDRESS 433-41 W. Pico Blvd.		APPROVED BS	ZONE M-2
3. BETWEEN CROSS STREETS Hope St. AND Grand Ave.		FIRE DIST. I 80 72	
4. PRESENT USE OF BUILDING Hotel & Stores		NEW USE OF BUILDING Same	
5. OWNER Montgomery Management Co.		PHONE	KEY
6. OWNER'S ADDRESS 8623 Sunset Blvd.		P.O.	ZONE
7. CERT. ARCH. Gedrgesad & Larson		STATE LICENSE	PHONE
8. LIC. ENGR.		STATE LICENSE	PHONE
9. CONTRACTOR Harry M. Lukens		STATE LICENSE	PHONE
10. CONTRACTOR'S ADDRESS 1019 Essex St.		P.O.	ZONE
11. SIZE OF EXISTING BLDG. 90 X 150		STORIES 4	HEIGHT 50
12. MATERIAL EXT. WALLS: <input type="checkbox"/> WOOD <input type="checkbox"/> METAL <input type="checkbox"/> CONC. BLOCK <input type="checkbox"/> STUCCO <input checked="" type="checkbox"/> BRICK <input type="checkbox"/> CONCRETE		ROOF CONST. <input checked="" type="checkbox"/> WOOD <input type="checkbox"/> STEEL <input type="checkbox"/> CONC. <input type="checkbox"/> OTHER	ROOFING Compo
3 433-41 W. Pico Blvd.		DISTRICT OFFICE L. A.	
13. VALUATION: TO INCLUDE ALL FIXED EQUIPMENT REQUIRED TO OPERATE AND USE PROPOSED BUILDING. \$500 \$750.00		DWELL. UNITS	
14. SIZE OF ADDITION STORIES HEIGHT		VALUATION APPROVED P. 110	
15. NEW WORK: WOOD WALLS SIGN ROOFING Install porcelain enamel over existing glass transoms in front elevation		APPLICATION CHECKED Valencia *	
C. OF O. ISSUED		PLANS CHECKED	
I certify that in doing the work authorized hereby I will not employ any person in violation of the Labor Code of the State of California relating to workmen's compensation insurance.		CORRECTIONS VERIFIED	
SIGNED This Form When Properly Validated is a Permit to Do the Work Described.		PLANS APPROVED	
TYPE Wall Sign		GROUP MAX. OCC. P.S.C. S.P.C. B.P. I.F. O.S. C/O	

VALIDATION

REC-451

CARNY'S USE ONLY

NL - 2 CR

2.00

LA89722

REC-2751

73956

C - 1 CR

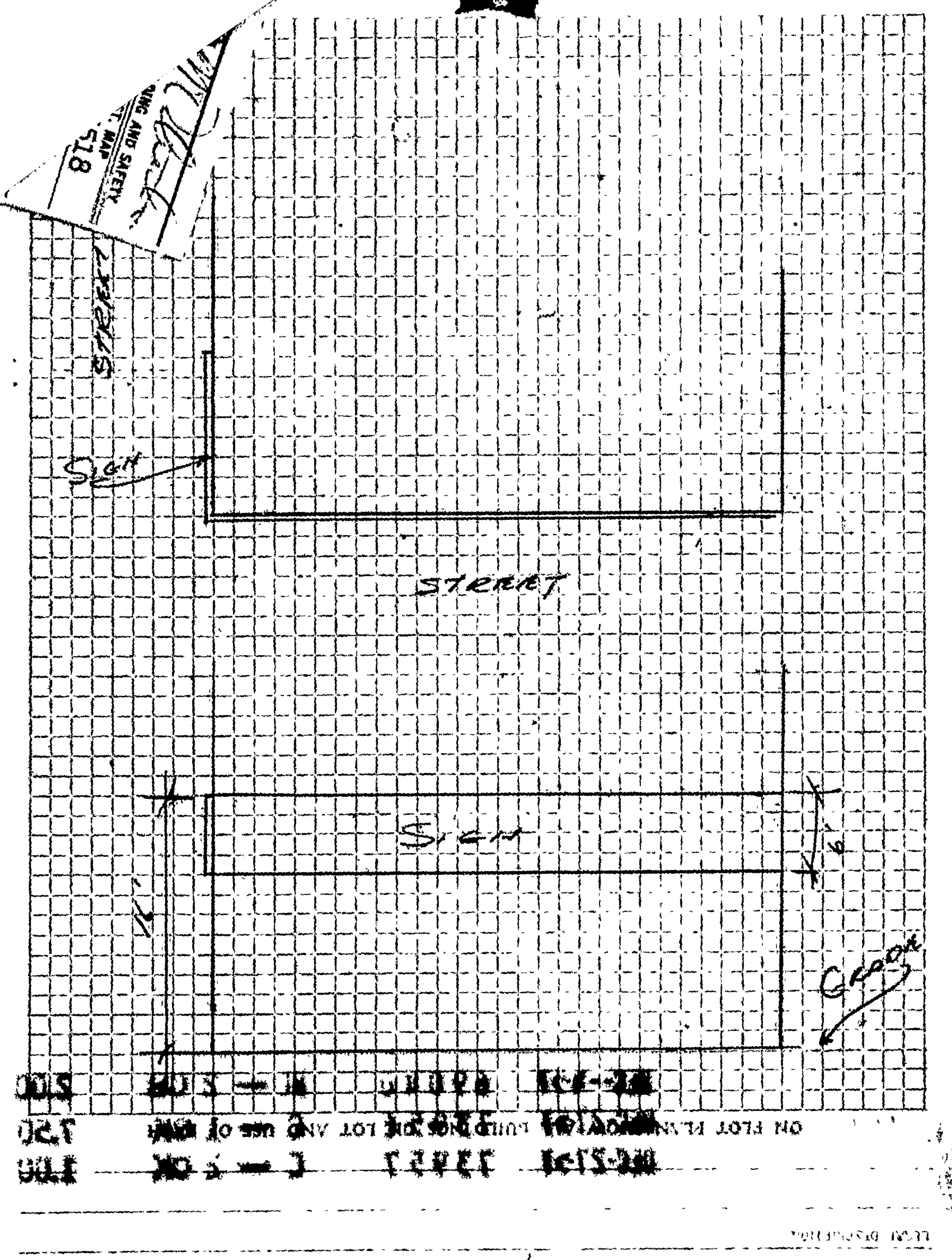
7.50

REC-2751

73957

C - 2 CR

1.00



ENGINEERING AND SAFETY
T. MAP
518

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120
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NO. 99 - 1
NO. 100 - 1

3

APPLICATION TO ALTER - REPAIR - DEMOLISH AND FOR CERTIFICATE OF OCCUPANCY

Form B-3

CITY OF LOS ANGELES

DEPT. OF BUILDING AND SAFETY

INSTRUCTIONS: 1. Applicant to Complete Numbered Items Only.
2. Plot Plan Required on Back of Original.

1. LEGAL DESCR.	LOT	BLK.	TRACT	ADDRESS APPROVED					
2. BUILDING ADDRESS 1248 S. Hope St.				DIST. MAP 5518					
3. BETWEEN CROSS STREETS 12th St. AND Pico Blvd.				ZONE M-2-4					
4. PRESENT USE OF BUILDING Stores & Hotel		NEW USE OF BUILDING Same		FIRE DIST. I 80					
5. OWNER'S NAME Montgomery Management Co.		PHONE OL 56789		INSIDE KEY					
6. OWNER'S ADDRESS 1248 S. Hope St.		P.O.		ZONE					
7. CERT. ARCH.		STATE LICENSE		PHONE					
8. LIC. ENGR.		STATE LICENSE		PHONE					
9. CONTRACTOR Harry M. Lukens, Inc.		STATE LICENSE 169000		PHONE RI 77191					
10. CONTRACTOR'S ADDRESS 1419 Essex St. LA 21		P.O.		ZONE					
11. SIZE OF EXISTING BLDG.	STORIES	HEIGHT	NO. OF EXISTING BUILDINGS ON LOT AND USE		BLDG. AREA				
95x150	4	50	ONE						
3 1248 S. Hope St.					DISTRICT OFFICE LA				
12. MATERIAL		ROOF		SPRINKLERS					
<input type="checkbox"/> WOOD <input type="checkbox"/> METAL <input type="checkbox"/> CONC. BLOCK		<input type="checkbox"/> WOOD <input checked="" type="checkbox"/> STEEL		REQ'D.					
EXT. WALLS: <input type="checkbox"/> STUCCO <input type="checkbox"/> BRICK <input checked="" type="checkbox"/> CONCRETE		CONST. <input type="checkbox"/> CONC. <input type="checkbox"/> OTHER		SPECIFIED					
13. VALUATION: TO INCLUDE ALL FIXED EQUIPMENT REQUIRED TO OPERATE AND USE PROPOSED BUILDING.			VALUATION APPROVED		AFFIDAVITS				
\$ 1500.00			APPLICATION CHECKED						
14. SIZE OF ADDITION			STORIES		HEIGHT				
NONE									
15. NEW WORK: (Describe)		EXT. WALLS		ROOFING					
Install new store front & change window to door opening.									
I certify that in doing the work authorized hereby I will not employ any person in violation of the Labor Code of the State of California relating to workmen's compensation insurance.			PLANS CHECKED		DWELL. UNITS				
Signed <i>H. Lukens</i>			CORRECTIONS VERIFIED		SPACES PARKING				
This Form When Properly Validated is a Permit to Do the Work Described.			PLANS APPROVED		GUEST ROOMS				
			APPLICATION APPROVED		FILE WITH				
			INSPECTOR		CONT. INSP.				
TYPE	GROUP	MAX. OCC.	P.C.	S.P.C.	G.P.I.	B.P.	I.F.	O.S.	C/O
MA	H-3	N.C	400	-	-	800			

SEWER (Available) (Not Available)

CRITICAL SOIL

CASHIER'S USE ONLY

LA 90766 JUN-14-61

42615

B - 2 CK

4.00

JUN-14-61

42616

B - 1 CK

8.00

P.C. No. GRADING CRIT. SOIL CONS.

3

APPLICATION TO ALTER - REPAIR - DEMOLISH AND FOR CERTIFICATE OF OCCUPANCY

B&S Form B-3

CITY OF LOS ANGELES

DEPT. OF BUILDING AND SAFETY

No 505

INSTRUCTIONS: 1. Applicant to Complete Numbered Items Only.
2. Plot Plan Required on Back of Original.

1. LEGAL DESCR.	LOT 6	BLK.	TRACT 17683	ADDRESS APPROVED
2. BUILDING ADDRESS	1246-1248 South Hope Street			DIST. MAP 5518
3. BETWEEN CROSS STREETS	12th Street AND Pico Boulevard			ZONE M-2-4
4. PRESENT USE OF BUILDING	Hotel & Stores			FIRE DIST. I
5. OWNER'S NAME	Manuel Dorame			INSIDE KEY
6. OWNER'S ADDRESS	1246 South Hope Street Los Angeles			COR. LOT 72' 80'
7. CERT. ARCH.	---			REV. COR. 91.28' 164.12'
8. LIC. ENGR.	Frank Lehnen Smith			90.06' 149.40'
9. CONTRACTOR	Clark-Porche Const. Co.			REAR ALLEY
10. CONTRACTOR'S ADDRESS	2219 North Lee St. South El Monte			SIDE ALLEY
11. SIZE OF EXISTING BLDG.	STORIES 4	HEIGHT 51'	NO. OF EXISTING BUILDINGS ON LOT AND USE One - as above	BLDG. LINE
3				DISTRICT OFFICE L.A.
12. MATERIAL	<input type="checkbox"/> WOOD	<input type="checkbox"/> METAL	<input type="checkbox"/> CONC. BLOCK	ROOFING
EXT. WALLS:	<input type="checkbox"/> STUCCO	<input checked="" type="checkbox"/> BRICK	<input type="checkbox"/> CONCRETE	SPRINKLERS REQ'D. SPECIFIED
13. VALUATION: TO INCLUDE ALL FIXED EQUIPMENT REQUIRED TO OPERATE AND USE PROPOSED BUILDING.	\$ 1200			AFFIDAVITS Downtown Pkg.
14. SIZE OF ADDITION	STORIES	HEIGHT	APPLICATION CHECKED	
None				
15. NEW WORK: (Describe)	EXT. WALLS	ROOFING	PLANS CHECKED	DWELL. UNITS
Repair damaged brick pier	Brick	None		
I certify that in doing the work authorized hereby I will not employ any person in violation of the Labor Code of the State of California relating to workmen's compensation insurance, and I have read reverse side of Application.			CORRECTIONS VERIFIED	SPACES PARKING
Signed Manuel Dorame			PLANS APPROVED	GUEST ROOMS
This Form When Properly Valuated is a Permit to Do the Work Described.			APPLICATION APPROVED	FILE WITH
			INSPECTOR	CONT. INSP.

SEWER (Available) (Not Available)

CRITICAL SOIL

TYPE	GROUP	MAX. OCC.	P.C.	S.P.C.	G.P.I.	B.P.F.	I.F.	O.S.	C/O
NC	NC	---	472			6 Fe			

CASHIER'S USE ONLY

JUN-22-64	30238	F	69210	X = 2 CK	4.42
JUN-22-64	30239	F	69210	X = 1 CK	6.80

P.C. No.

GRADING

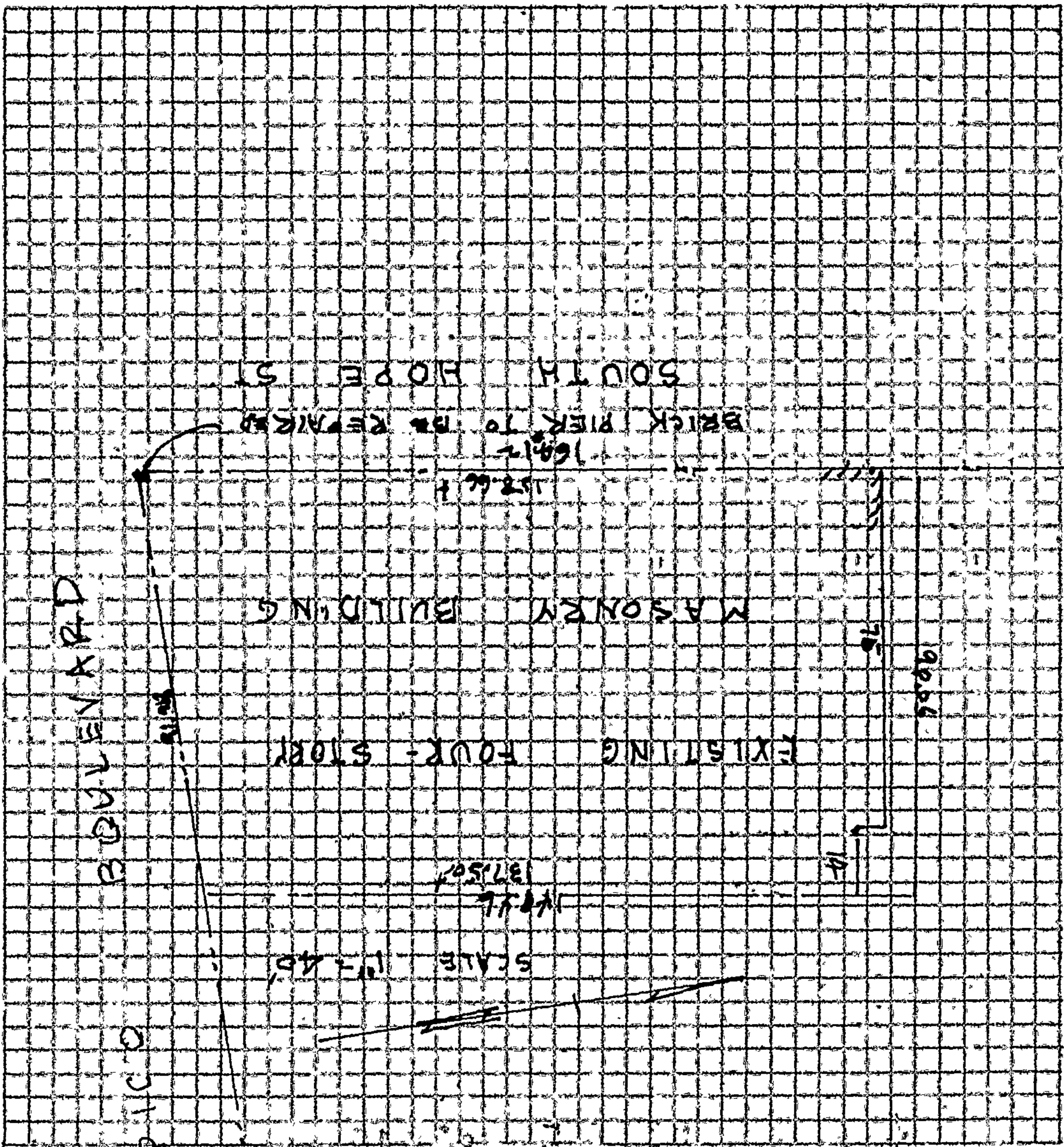
CRIT. SOIL

CONS.

Yes

ALL

ON PLOT PLAN SHOW ALL BUILDINGS ON LOT AND USE OF EACH



SCOPE OF PERMIT

"This permit is an application for inspection, the issuance of which is not an approval or an authorization of the work specified herein. This permit does not authorize or permit, nor shall it be construed as authorizing or permitting the violation or failure to comply with any applicable law. Neither the City of Los Angeles, nor any board, department, officer or employee thereof make any warranty or shall be responsible for the performance or results of any work described herein, or the condition of the property or soil upon which such work is performed." (See Sec. 91.0202 L.A.M.C.)

3

APPLICATION TO ADD-ALTER-REPAIR-DEMOLISH

BAS B-3-R.1-73

CITY OF LOS ANGELES

AND FOR CERTIFICATE OF OCCUPANCY

DEPT. OF BUILDING AND SAFETY

INSTRUCTIONS: Applicant to Complete Numbered Items Only.

AR-1

1. LEGAL DESCR.	LOT 6	BLK.	TRACT 17683	DIST. MAP 2079.00
2. PRESENT USE OF BUILDING (11) Hotel	NEW USE OF BUILDING (11) Hotel			CENSUS TR. 5518
3. JOB ADDRESS 1246 So Hope St.				ZONE M2-4-0
4. BETWEEN CROSS STREETS Pico B.	AND 12th St.			FIRE DIST. One
5. OWNER'S NAME Manuel Dorame	PHONE 746-9038			LOT (TYPE) Rev Con
6. OWNER'S ADDRESS 3842 Carnavon Way	CITY	ZIP		LOT SIZE irreg.
7. ENGINEER	STATE LICENSE No.		PHONE	ALLEY
8. ARCHITECT OR DESIGNER	STATE LICENSE No.		PHONE	BLDG. LINE
9. CONTRACTOR OWNER	STATE LICENSE No.		PHONE	AFFIDAVITS
10. BRANCH LENDER	ADDRESS		CITY	
11. SIZE OF EXISTING BLDG. WIDTH LENGTH	STORIES 4	HEIGHT	NO. OF EXISTING BUILDINGS ON LOT AND USE	
12. CONST. MATERIAL OF EXISTING BLDG. →	EXT. WALLS BRICK	ROOF Comp	FLOOR wood	D.T.P.D.
13. JOB ADDRESS 3 1246 So Hope St. LA				DIST. OFFICE LA
14. VALUATION TO INCLUDE ALL FIXED EQUIPMENT REQUIRED TO OPERATE AND USE PROPOSED BUILDING \$18,600				CRIT. SOIL
15. NEW WORK: (Describe) Comply with Fire Safety Ord				GRADING
NEW USE OF BUILDING SAME	SIZE OF ADDITION N/C		STORIES N/C	HEIGHT N/C
TYPE IIA	GROUP OCC. H-3	PLANS CHECKED		CONS Yes
BLDG. AREA N/C	MAX OCC. N/C	TOTAL		PLANS APPROVED
DWELL UNITS N/C	GUEST ROOMS N/C	PARKING REQ'D N/C	PROVIDED	APPLICATION APPROVED
SPRINKLERS REQ'D SPECIFIED N/C	CONT. INSP.	INSPECTION ACTIVITY COMB GEN MAJ. S. CONS		ZONED BY SKOMSWOLD
P.C. 8457	S.P.C.	B.P. 9950	I.F.	G.P.I.
O.S.	C/O	TYPYST		

P.C. No. 00-1580 PLAN CHECK EXPIRES SIX MONTHS AFTER FEE IS PAID. PERMIT EXPIRES ONE YEAR AFTER FEE IS PAID OR SIX MONTHS AFTER FEE IS PAID IF CONSTRUCTION IS NOT COMMENCED.

CASHIER'S USE ONLY

FEB-11-74 495895 •84544 V-6 CK 84.57
Sewer avail SFC Not applicable
Helen Z. 460 2-4-74

FEB-11-74 495905 •84544 V-1 CK 99.50

STATEMENT OF RESPONSIBILITY

I certify that in doing the work authorized hereby I will not employ any person in violation of the Labor Code of the State of California relating to workmen's compensation insurance.

"This permit is an application for inspection, the issuance of which is not an approval or an authorization of the work specified herein. This permit does not authorize or permit, nor shall it be construed as authorizing or permitting the violation or failure to comply with any applicable law. Neither the City of Los Angeles, nor any board, department, officer or employee thereof make any warranty or shall be responsible for the performance or results of any work described herein, or the condition of the property or soil upon which such work is performed." (See Sec. 91.0202 L.A.M.C.)

X Signed Richard J. Dubrowski (Owner or Agent)	Signature/Date Shu 2-4-74
Bureau of Engineering	ADDRESS APPROVED
	SEWERS NO SEWER/PLUMBING REQ'D. SFC NOT APPLICABLE SFC PAID SFC DUE
	DRIVEWAY
	HIGHWAY DEDICATION REQUIRED COMPLETED
	FLOOD CLEARANCE
Conservation	APPROVED FOR ISSUE <input type="checkbox"/> NO FILE <input type="checkbox"/>
Fire	APPROVED (TITLE 19) (L.A.M.C.-S700)
Plumbing	PRIVATE SEWAGE SYSTEM APPROVED
Planning	APPROVED UNDER CASE #
Traffic	APPROVED FOR

1948-1949 1948-1949 1948-1949 1948-1949

1948-1949 1948-1949 1948-1949 1948-1949

1948-1949 1948-1949 1948-1949 1948-1949

3

APPLICATION FOR INSPECTION — TO ADD-ALTER-REPAIR-DEMOLISH

CITY OF LOS ANGELES

AND FOR CERTIFICATE OF OCCUPANCY

B & S B-3 — R8-76
DEPT. OF BUILDING AND SAFETY

INSTRUCTIONS: Applicant to Complete Numbered Items Only.

1. LEGAL DESCR.	LOT 6	BLK	TRACT 17683	DIST. MAP 5518 2079.00
2. PRESENT USE OF BUILDING (11) hotel	NEW USE OF BUILDING (11) same			ZONE M2-4-0
3. JOB ADDRESS 1246 S. Hope St.				FIRE DIST. 1
4. BETWEEN CROSS STREETS 12 St.	AND Pico			LOT (TYPE) rev/cor
5. OWNER'S NAME Manuel Dorame	PHONE			LOT SIZE irreg
6. OWNER'S ADDRESS same	CITY LA	ZIP 90015		
7. ENGINEER	BUS. LIC NO	ACTIVE STATE LIC. NO	PHONE	ALLEY
8. ARCHITECT OR DESIGNER	BUS. LIC. NO.	ACTIVE STATE LIC NO	PHONE	BLDG. LINE
9. CONTRACTOR	BUS. LIC NO.	ACTIVE STATE LIC NO.	PHONE	AFFIDAVITS CCPD/DPD
10. BRANCH LENDER	ADDRESS			CITY
11. SIZE OF EXISTING BLDG. WIDTH LENGTH	STORIES 4	HEIGHT	NO. OF EXISTING BUILDINGS ON LOT AND USE	
12. CONST. MATERIAL OF EXISTING BLDG.	EXT. WALLS BRICK	ROOF	FLOOR	SEISMIC STUDY ZONE
13. JOB ADDRESS 1246 S. Hope St.				DIST. OFFICE LA
14. VALUATION TO INCLUDE ALL FIXED EQUIPMENT REQUIRED TO OPERATE AND USE PROPOSED BUILDING	\$ 250 ⁰⁰			CRIT SOIL
15. NEW WORK: (Describe)	install new non-bearing wall in lobby			GRADING HIGHWAY DED. yes
NEW USE OF BUILDING HOTEL		SIZE OF ADDITION 25		STORIES HEIGHT FLOOD
TYPE IIA	GROUP OCC. H-3	BLDG. AREA N/C	PLANS CHECKED	CONS. yes
DWELL. UNITS N/C	MAX OCC. N/C	TOTAL	PLANS APPROVED	ZONED BY P. Barker
GUEST ROOMS N/C	PARKING REQ'D N/C	PARKING PROVIDED STD. COMP.	APPLICATION APPROVED	FILE WITH
SPRINKLERS REQ'D SPECIFIED	CONT. INSP.	INSPECTION ACTIVITY COMB GEN MAJ. S. CONS		INSPECTOR
P.C. 6.29	S.P.C. -	P.P. 7.40	T.I.	P.M.
P.C. No	PLAN CHECK EXPIRES ONE YEAR AFTER FEE IS PAID PERMIT EXPIRES TWO YEARS AFTER FEE IS PAID OR 180 DAYS AFTER FEE IS PAID IF CONSTRUCTION IS NOT COMMENCED.			TYPYST sj

CASHIER'S USE ONLY

JAN 24 1977 51833 E :38788 T=18K 6.29

STATEMENT OF RESPONSIBILITY

I certify that in doing the work specified herein I will not employ any person in violation of the Labor Code of the State of California relating to workmen's compensation insurance.

"This permit is an application for inspection, the issuance of which is not an approval or an authorization of the work specified herein. This permit does not authorize or permit, nor shall it be construed as authorizing or permitting the violation or failure to comply with any applicable law. Neither the City of Los Angeles, nor any board, department, officer or employee thereof make any warranty or shall be responsible for the performance or results of any work described herein, or the condition of the property or soil upon which such work is performed." (see Sec. 91.0202 L.A.M.C.)

Signed Manuel Dorame
(Owner or Agent having Property Owner's Consent)

Signature/Date
Armendariz 1-21-77

Bureau of Engineering	ADDRESS APPROVED	
	DRIVEWAY	
	HIGHWAY DEDICATION	REQUIRED COMPLETED
	FLOOD CLEARANCE	

SEWERS	X	SEWERS AVAILABLE	TA1-21-77
		NOT AVAILABLE	
		SFC PAID	
X		SFC NOT APPLICABLE	SFC DUE

Conservation	APPROVED FOR ISSUE <input type="checkbox"/> NO FILE <input checked="" type="checkbox"/>	Gillespie 1-21-77
Fire	APPROVED (TITLE 19) (L.A.M.C.-5700)	
Housing	HOUSING AUTHORITY APPROVAL	
Planning	APPROVED UNDER CASE #	
Traffic	APPROVED FOR	
Construction T-	RECEIPT NO.	DWELLING UNITS

1111 1111 1111 1111

3

APPLICATION FOR INSPECTION — TO ADD-ALTER-REPAIR-DEMOLISH

CITY OF LOS ANGELES

AND FOR CERTIFICATE OF OCCUPANCY

B&S B-3 (R7.77)
DEPT. OF BUILDING AND SAFETY

INSTRUCTIONS: Applicant to Complete Numbered Items Only.

1. LEGAL DESCR.	LOT 6 & Pt. of	BLK 5	TRACT 37 17683	DIST. MAP 126.205
2. PRESENT USE OF BUILDING ()	Store & Hotel	NEW USE OF BUILDING ()	Same	CENSUS TRACT 2079.00
3. JOB ADDRESS	1246 S. Hope St.	AND		ZONE M 2-4-0
4. BETWEEN CROSS STREETS				FIRE DIST. One
5. OWNER'S NAME	Manuel Dorame	PHONE		LOT (TYPE) Cor.
6. OWNER'S ADDRESS	3842 Carnovan Way	CITY		LOT SIZE Inc. legal
7. ENGINEER	Andrew Nasser	BUS. LIC. NO. S.E. 1	ACTIVE STATE LIC. NO. 1453	ALLEY 12
8. ARCHITECT OR DESIGNER		BUS. LIC. NO.	ACTIVE STATE LIC. NO.	BLDG. LINE
9. CONTRACTOR	To be selected	BUS. LIC. NO.	ACTIVE STATE LIC. NO.	AFIDAVITS C.C.P.D.
10. BRANCH LENDER		ADDRESS	CITY	D.P.D.
11. SIZE OF EXISTING BLDG. WIDTH 90 LENGTH 150	STORIES 4	HEIGHT	NO. OF EXISTING BUILDINGS ON LOT AND USE 1 Hotel X Store	2.1.940
12. CONST. MATERIAL OF EXISTING BLDG. brick	EXT. WALLS	ROOF	FLOOR	SEISMIC STUDY ZONE
13. JOB ADDRESS				DIST. OFFICE L.A.
14. VALUATION TO INCLUDE ALL FIXED EQUIPMENT REQUIRED TO OPERATE AND USE PROPOSED BUILDING				CRIT. SOIL
15. NEW WORK: (Describe)	Repair fire damaged roof rafters, floor joists, ceiling joist, wall, etc.			GRADING
NEW USE OF BUILDING	Store & Hotel	SIZE OF ADDITION	none	HIGHWAY DED. Yes both
TYPE N/C	GROUP OCC. N/C	BLDG. AREA	PLANS CHECKED	FLOOD
DWELL. UNITS N/C	MAX OCC. N/C	TOTAL	PLANS APPROVED	CONS. Yes
GUEST ROOMS N/C	PARKING REQ'D	PARKING PROVIDED	APPLICATION APPROVED	ZONED L.R. pranicvic
SPRINKLERS REQ'D SPECIFIED	CONT. INSP.		INSPECTION ACTIVITY	FILE WITH
P.C. 97.75	S.P.C.	B.P. 15.09	T.I.	INSPECTOR Khan
P.C. NO.	WORKER'S COMPENSATION INSURANCE CERTIFICATE ON FILE	EXEMPT	No Energy	

PERMIT EXPIRES TWO YEARS AFTER FEE IS PAID OR 180 DAYS AFTER FEE IS PAID IF CONSTRUCTION IS NOT COMMENCED.

CASHIER'S USE ONLY

NOV--8-78	354805	S-6CS	97.75
NOV-16-78	376835	73355 U-1CK	115.00

LIMIT OF PERMIT

"This permit is an application for inspection, the issuance of which is not an approval or an authorization of the work specified herein. This permit does not authorize or permit, nor shall it be construed as authorizing or permitting the violation or failure to comply with any applicable law. Neither the City of Los Angeles, nor any board, department, officer or employee thereof make any warranty or shall be responsible for the performance or results of any work described herein, or the condition of the property or soil upon which such work is performed." (See Sec. 91.0202 L.A.M.C.)

Signed

(Owner or Agent having Property Owner's Consent)
ALSO, sign statement on reverse side, if applicable.

Signature/Date

Bureau of
Engineering

ADDRESS APPROVED

DRIVEWAY

HIGHWAY DEDICATION

REQUIRED

COMPLETED

FLOOD CLEARANCE

SEWERS

SEWERS AVAILABLE

NOT AVAILABLE

SFC PAID

SFC NOT APPLICABLE

SFC DUE

Conservation

APPROVED FOR ISSUE ☐ NO FILE ☐ FILE CLOSED ☐

Fire

APPROVED (TITLE 19) (L.A.M.C.-5700)

Housing

HOUSING AUTHORITY APPROVAL

Planning

APPROVED UNDER CASE #

Traffic

APPROVED FOR

Construction Tax

RECEIPT NO.

DWELLING UNITS

WORKERS COMPENSATION CERTIFICATION

X *John J. O'Brien* X OWNER X MAY 16-1978
X Hector F. Flores

ON PLOT PLAN SHOW ALL BUILDINGS ON LOT AND USE OF EACH

WE HAVE BEEN NOTIFIED THAT THIS SITE IS
WITHIN A COMMUNITY REDEVELOPMENT
PROJECT AREA, AND HAVE BEEN ADVISED
TO COOPERATE WITH THE COMMUNITY REDEVELOPMENT
AGENCY.

SIGNATURE

John J. O'Brien

3

PUBLIC RECORD

APPLICATION FOR INSPECTION — TO ADD-ALTER-REPAIR-DEMOLISH

CITY OF LOS ANGELES

AND FOR CERTIFICATE OF OCCUPANCY

B & S B-3 (R 10.79)
DEPT. OF BUILDING AND SAFETY

INSTRUCTIONS: Applicant to Complete Numbered Items Only.

1. LEGAL DESCR.	LOT 6	BLOCK ---	TRACT 17683	COUNCIL DISTRICT NO. 9	DIST. MAP 126-205	CENSUS TRACT 2079.00
2. PRESENT USE OF BUILDING (17) Restaurant	NEW USE OF BUILDING () Same			ZONE M2-4-0(2)		
3. JOB ADDRESS 441 W. Pico					FIRE DIST. one	
4. BETWEEN CROSS STREETS Grand AND Hope St					LOT TYPE corner	
5. OWNER'S NAME Al Flores	PHONE 388-3017			LOT SIZE irreg		
6. OWNER'S ADDRESS 422 W. Pico	CITY Los Angeles			ZIP		
7. ENGINEER ---	BUS. LIC. NO.	ACTIVE STATE LIC. NO.	PHONE	ALLEY ---		
8. ARCHITECT OR DESIGNER L.M. Cartwright & Assoc.	BUS. LIC. NO.	ACTIVE STATE LIC. NO. 325-505	PHONE 438-2997	BLDG. LINE ---		
9. CONTRACTOR "	BUS. LIC. NO.	ACTIVE STATE LIC. NO.	PHONE	AFFIDAVITS CCPD/DPD		
10. BRANCH LENDER	ADDRESS			CITY		
11. SIZE OF EXISTING BLDG. WIDTH LENGTH	STORIES 1	HEIGHT	NO. OF EXISTING BUILDINGS ON LOT AND USE 1-Restaurant			
12. CONST. MATERIAL OF EXISTING BLDG.	EXT. WALLS drywall on stud		ROOF GOMP	FLOOR cement		
13. JOB ADDRESS 441 W. Pico					DISTRICT OFFICE LA	
14. VALUATION TO INCLUDE ALL FIXED EQUIPMENT REQUIRED TO OPERATE AND USE PROPOSED BUILDING \$ 18,000					SEISMIC STUDY ZONE ---	
15. NEW WORK: (Describe) Interior non-bearing partitions					GRADING ---	
NEW USE OF BUILDING Restaurant			SIZE	ADDITION	STORIES	HEIGHT
TYPE NO	GROUP OCC. NO	BLDG. AREA	PLANS CHECKED		FLOOD ---	
DWELL. UNITS NO	MAX OCC. NO	TOTAL	PLANS APPROVED		CONS. ---	
GUEST ROOMS NO	PARKING REQ'D NO	PARKING PROVIDED STD. COM.	APPLICATION APPROVED		ZONED BY Panel XXXX	
SPRINKLERS REQ'D SPECIFIED NO	CONT. INSP. ---	INSPECTION ACTIVITY		INSPECTOR P. M.		
P.C. 97.75	S.P.C.	B.P. 115.00	P.M.	I.F.	S.P.I.	C/O
P.C. NO.	WORKER'S COMPENSATION INSURANCE CERTIFICATE ON FILE		ENERGY		TYPIST dp	

PLAN CHECK EXPIRES ONE YEAR AFTER FEE IS PAID. PERMIT EXPIRES TWO YEARS AFTER FEE IS PAID OR 180 DAYS AFTER FEE IS PAID IF CONSTRUCTION IS NOT COMMENCED.

MAY--5-80	79332	02628	U	6 CK	97.75
MAY--5-80	79333	02628	U	1 CK	115.00

CASHIER'S USE ONLY

LIMIT OF PERMIT

16. APPLICANT — Check the appropriate box: fill in the blanks, sign at the bottom.

☐ I hold State Contractor's License No. _____ which is in full force and effect.☐ I am exempt from the provisions of Chapter 9, Division 3 Business and Professions Code pursuant to the exemption specified therein on the basis that: _____

I realize that this permit is an application for inspection, that it does not approve or authorize the work specified herein; that it does not authorize or permit any violation or failure to comply with any applicable law; that neither the city of Los Angeles nor any board, department, officer or employee thereof make any warranty or shall be responsible for the performance or results of any work described herein or the condition of the property or soil upon which such work is performed. (See Sec. 91.0202 LAMC)

Signed Louis M. Cartwright Owner 5/5/80
(Owner or agent having property owner's consent) Position Date
Also sign statement on reverse side if applicable

Bureau of Engineering	ADDRESS APPROVED	Bernard 5/5/80	Signature/Date
	DRIVEWAY		
	HIGHWAY DEDICATION	REQUIRED	
		COMPLETED	
	FLOOD CLEARANCE		
	SEWERS	SFC to be det	
		after Plan Check	
		SFC NOT AVAILABLE	
		SFC DUE	
Plumbing	PRIVATE SEWAGE SYSTEM APPROVED		
Conservation	APPROVED FOR ISSUE <input type="checkbox"/> NO FILE <input type="checkbox"/> FILE CLOSED <input type="checkbox"/>		
Fire	APPROVED (TITLE 19) (L.A.M.C.-5700)		
Housing	HOUSING AUTHORITY APPROVAL		
Planning	APPROVED UNDER CASE #		
Traffic	APPROVED FOR		
Construction Tax	RECEIPT NO.	DWELLING UNITS	

S

APPLICATION FOR INSPECTION OF SIGNS

B & S B-5-R1.81

CITY OF LOS ANGELES

PUBLIC RECORD

DEPT. OF BUILDING AND SAFETY

INSTRUCTIONS: 1. Applicant to Complete Numbered Items Only. 2. Plot Plan Required on Back of Original.

1. LEGAL DESCR.	LOT 6	BLOCK ---	TRACT 17683	COUNCIL DISTRICT NO. 9	DIST. MAP 126-205
					CENSUS TRACT 2079
2. TYPE OF SIGN OR NEW WORK 99) Wall Sign					ZONE M2-4-0(2)
3. JOB ADDRESS 433 W. Pico B1					FIRE DIST. two
4. BETWEEN CROSS STREETS Hope AND Grand					LOT (TYPE) corner
5. OWNER'S NAME Hector Flores					LOT SIZE irreg
6. OWNER'S ADDRESS 1246 S. Hope St					
7. ARCHITECT OR ENGINEER David R. Erlich					ALLEY /
8. ARCHITECT OR ENGINEER ADDRESS 979 N. La Brea					BLDG. LINE /
9. QUALIFIED INSTALLER R.E. Hatten					AFFIDAVITS ZAI 81-059
10. INSTALLER'S ADDRESS 979 N. La Brea					
11. SIZE OF EXISTING BUILDING WIDTH LENGTH					
12. SIZE OF SIGN 6'x12'					HIGHWAY DED. /
13. JOB ADDRESS 433 W. Pico B1					DIST. OFFICE LA
14. VALUATION TO INCLUDE ALL FIXED EQUIPMENT REQUIRED TO OPERATE AND USE PROPOSED SIGN \$ 500.00					GRADING /
15. MATERIAL OF SIGN CONSTRUCTION					CONS. /
16. TYPE OF SIGN OR NEW WORK Wall Sign					ZONED BY Baynton
17. ILLUMINATION X NONE <input type="checkbox"/> INTERNAL <input type="checkbox"/> EXTERNAL <input type="checkbox"/> FLASHING <input type="checkbox"/> REVOLVING <input type="checkbox"/> OTHER <input type="checkbox"/> NONE					FREEWAY CLEARANCE /
18. NO. OF SIGNS OR GAS TUBE SYSTEMS 0					NO. OF CONTROL DEVICES 0
19. NO. OF ADDITIONAL BRANCH CIRCUITS 0					NO. OF CONTROL DEVICES 0
PERMIT FEES					CLEARANCES AND/OR APPROVALS REQUIRED
SIGNS/G. T. SYSTEMS					PLANS CHECKED
ADDITIONAL CIRCUITS					APPLICATION APPROVED
ELECTRICAL SERVICE					DATE 10-6-81
CONTROL DEVICES					FILED WITH
ISSUING FEE					
BLDG. PERMIT 9.00					
P.C. 9.00					
S.P.C. G.P.I.					
DISTRICT OFFICE LA					
P.C. NO. TYPIST					
INSPECTOR					
PLAN CHECK EXPIRES ONE YEAR AFTER FEE IS PAID. PERMIT TWO YEARS AFTER OR 180 DAYS IF WORK IS NOT BEGUN.					

DECLARATIONS AND CERTIFICATIONS

LICENSED CONTRACTORS DECLARATION

19. I hereby affirm that I am licensed under the provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

Date 10-2-81 Lic. Class C-10 Lic. No. 334645 Contractor's Signature Rodolfo Flores

Contractor's Mailing Address 979 N. La Brea LA 90038

OWNER-BUILDER DECLARATION

20. I hereby affirm that I am exempt from the Contractor's License Law for the following reason (Sec. 7031.5, Business and Professions Code: Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he is licensed pursuant to the provisions of the Contractor's License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).):

☐ I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code: The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or through his own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he did not build or improve for the purpose of sale.).☐ I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractor's License Law.).☐ I am exempt under Sec. _____, B. & P. C. for this reason _____

Date _____ Owner's Signature _____

WORKERS' COMPENSATION DECLARATION

21. I hereby affirm that I have a certificate of consent to self-insure, or a certificate of Worker's Compensation Insurance, or a certified copy thereof (Sec. 3800, Lab. C.).

Policy No. BUWC 909053 Company Highlands Underwriters Ins. Co.

☐ Certified copy is hereby furnished.☒ Certified copy is filed with the Los Angeles City Dept. of Bldg. & Safety.

Date 10-6-81 Applicant Rodolfo Flores

Applicant's Mailing Address _____

CERTIFICATE OF EXEMPTION FROM WORKERS' COMPENSATION INSURANCE

22. I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Workers' Compensation Laws of California.

Date _____ Applicant _____

NOTICE TO APPLICANT: If, after making this Certificate of Exemption, you should become subject to the Workers' Compensation provisions of the Labor Code, you must forthwith comply with such provisions or this permit shall be deemed revoked.

CONSTRUCTION LENDING AGENCY

23. I hereby affirm that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C.).

Lender's Name _____

Lender's Address _____

24. I certify that I have read this application and state that the above information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this city to enter upon the above-mentioned property for inspection purposes.

I realize that this permit is an application for inspection, that it does not approve or authorize the work specified herein, that it does not authorize or permit any violation or failure to comply with any applicable law, that neither the city of Los Angeles nor any board, department, officer or employee thereof make any warranty or shall be responsible for the performance or results of any work described herein or the condition of the property or soil upon which such work is performed. (See Sec. 91.0202 LAMC)

Signed _____ 10-6-81

(Owner or agent having property owner's consent)

Agent

Date

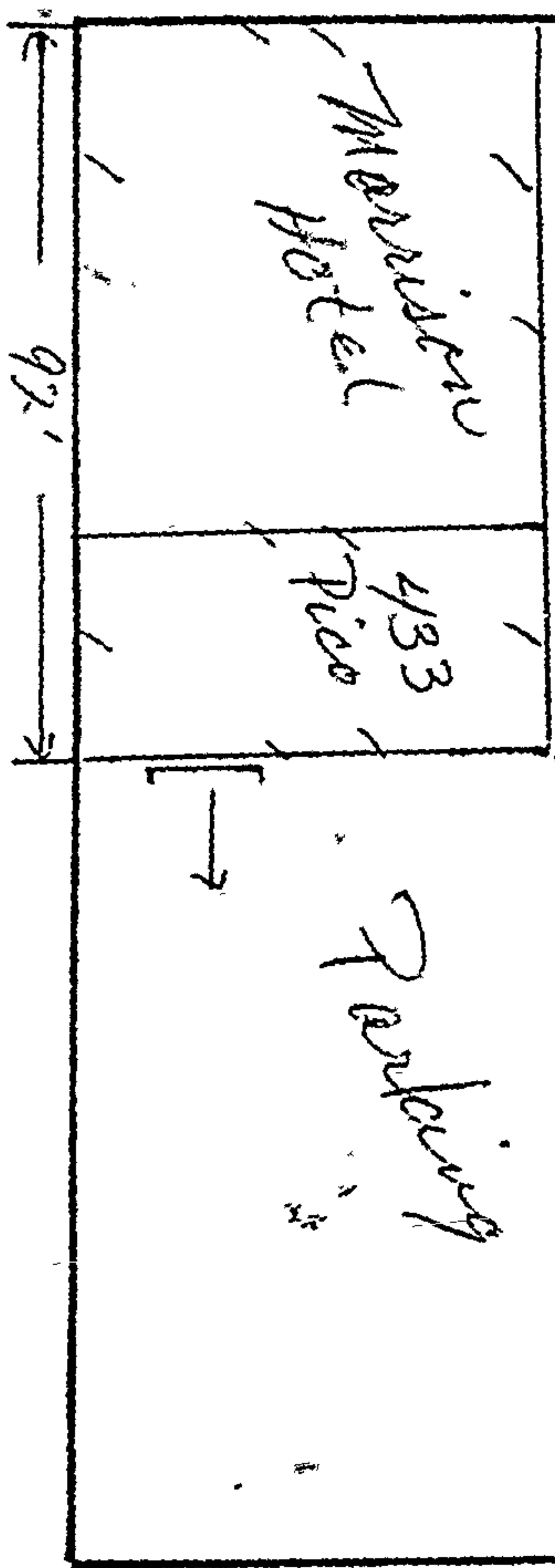
MAP PAGE

441 B4

DATE

7/24/81

Hope



that no portion of this sign will be visible
in traveled roadway of any existing or route
that is within 2,000 feet of this sign
Further understand that this sign may be
a sign required to be altered or removed
inspection reveal freeway visibility.

[Signature]
Owner or Authorized Agent

Signed

3

APPLICATION
FOR
INSPECTION

CITY OF LOS ANGELES DEPT. OF BUILDING AND SAFETY

1 4 7 0 0 2 0 0 1 9

TO ADD-ALTER-
REPAIR-DEMOLISH
AND FOR CERTIFICATE
OF OCCUPANCY

INSTRUCTIONS: 1. Applicant to Complete Numbered Items Only.

1. LEGAL DESCR.	LOT 6	BLOCK 1	TRACT 17683	COUNCIL DISTRICT NO 5	DIST. MAP 5518 CENSUS TRACT 2079
2. PRESENT USE OF BUILDING (05) APARTMENT	NEW USE OF BUILDING (05) APARTMENT				ZONE M24-02
3. JOB ADDRESS 1246 SOUTH HOPE STREET, LOS ANGELES, CA					FIRE DIST. one
4. BETWEEN CROSS STREETS 12TH ST. AND PICO BLVD.					LOT TYPE car
5. OWNER'S NAME MR. RUDY RAMOS	PHONE (213) 721-9280				LOT SIZE ---
6. OWNER'S ADDRESS 1605 WEST WHITTIER BLVD., MONTEBELLO, CA 90640	CITY ZIP				---
7. ENGINEER	BUS LIC NO	ACTIVE STATE LIC NO	PHONE		ALLEY ---
8. ARCHITECT OR DESIGNER	BUS LIC. NO	ACTIVE STATE LIC. NO	PHONE		BLDG. LINE ---
9. ARCHITECT OR ENGINEER'S ADDRESS	CITY ZIP				AFFIDAVITS 2A 81.059 DTPD. 20940 PG. REQ'D No
10. CONTRACTOR CALIFORNIA TECHNOLOGY SYSTEMS, INC.	BUS LIC. NO	ACTIVE STATE LIC NO	PHONE		---
11. SIZE OF EXISTING BLDG. (STORIES) HEIGHT (NO. OF EXISTING BUILDINGS ON LOT AND USE)					---
12. CONST. MATERIAL OF EXISTING BLDG. (WALLS) (ROOF) (FLOOR)					---
13. JOB ADDRESS 1246 SOUTH HOPE STREET, L.A., CA	STREET GUIDE				DISTRICT OFFICE LA
14. EQUIPMENT REQUIRED TO OPERATE AND USE PROPOSED BUILDING	\$ 34,000 PC \$ 57,000 EP				SEISMIC STUDY ZONE ---
15. NEW WORK (Describe) COMPLY WITH DOROTHY MAE ORDINANCE					GRADING FLOOD HWY DED. CONS.
NEW USE OF BUILDING Apt Hse	SIZE OF ADDITION		STORIES	HEIGHT	ZONED BY Hughes
TYPE GROUP OCC	FLOOR AREA	PLANS CHECKED K. Vataa		FILE WITH	
DWELL UNITS	MAX OCC.	TOTAL	APPLICATION APPROVED		TYPIST
GUEST ROOMS	PARKING REQ'D	PARKING PROVIDED STD COMP	INSPECTION ACTIVITY COMB GEN. MAJS CONS. ETC		INSPECTOR D. Vataa
PC 16745	QRI	CONT INSP	CONTRACTOR'S USE ONLY 167.45 1246 PC 294.90 312 PC 3.99 111 9.33 055 62539 0001 F4572 3 04/10/87 475.67 CHTD		
S.P.C.	PM				
PP 29490	EI 399	Claims for refund of fees paid on permits must be filed 1 Within one year from date of payment of fee, or 2 Within one year from date of expiration of extension for building or grading permits granted by the Dept. of B. & S. SECTIONS 22.12 & 22.13 LAMC			
IF	FM				
SDRASK	O.S.S. 933				
DIST OFFICE	O.S.S.	SPRINKLERS REQ'D SPEC			
PC NO	C/O	ENERGY			
C 9200					
PLAN CHECK EXPIRES ONE YEAR AFTER FEE IS PAID PERMIT EXPIRES TWO YEARS AFTER FEE IS PAID OR 180 DAYS AFTER FEE IS PAID IF CONSTRUCTION IS NOT COMMENCED					

DECLARATIONS AND CERTIFICATIONS

LICENSED CONTRACTORS DECLARATION

16. I hereby affirm that I am licensed under the provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

Date 4/10/87 Lic Class C- Lic. Number 436126 Contractor U. Vataa (Signature)

OWNER-BUILDER DECLARATION

17. I hereby affirm that I am exempt from the Contractor's License Law for the following reason (Sec. 7031.5, Business and Professions Code. Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he is licensed pursuant to the provisions of the Contractor's License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).):

☐ I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code. The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or through his own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he did not build or improve for the purpose of sale.).☐ I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code. The Contractor's License Law does not apply to an owner of property who builds or improves thereon and who contracts for such projects with a contractor(s) licensed pursuant to the Contractor's License Law).☐ I am exempt under Sec. _____, B. & P. C. for this reason _____

Date _____ Owner's Signature _____

WORKERS' COMPENSATION DECLARATION

18. I hereby affirm that I have a certificate of consent to self-insure, or a certificate of Worker's Compensation Insurance, or a certified copy thereof (Sec. 3800, Lab. C.).

Policy No 629224 Insurance Company STATE COMPENSATION INSURANCE FUND

☐ Certified copy is hereby furnished.☒ Certified copy is filed with the Los Angeles City Dept. of Bldg. & Safety.

Date 4/10/87 Applicant's Signature U. Vataa

Applicant's Mailing Address 3539 CASITAS AVENUE, LOS ANGELES, CA 90039

CERTIFICATE OF EXEMPTION FROM WORKERS' COMPENSATION INSURANCE

19. I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Workers' Compensation Laws of California.

Date _____ Applicant's Signature _____

NOTICE TO APPLICANT: If, after making this Certificate of Exemption, you should become subject to the Workers' Compensation provisions of the Labor Code, you must forthwith comply with such provisions or this permit shall be deemed revoked.

CONSTRUCTION LENDING AGENCY

20. I hereby affirm that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C.).

Lender's Name _____ Lender's Address _____

21. I certify that I have read this application and state that the above information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this city to enter upon the above-mentioned property for inspection purposes.

I realize that this permit is an application for inspection, that it does not approve or authorize the work specified herein, that it does not authorize or permit any violation or failure to comply with any applicable law, that neither the city of Los Angeles nor any board, department, officer or employee thereof make any warranty or shall be responsible for the performance or results of any work described herein or the condition of the property or soil upon which such work is performed. (See Sec. 91 0202 LAMC)

Signed U. Vataa (Owner or agent having property owner's consent)

Engineer Position

4/10/87 Date

1 4 7 0 0 2 0 0 1 9 9

167.45 C-PL
254.90 BP-C
3.99 E-1
8.33 USS
2839 UOI
04/10/37

475.67 9NDR

2020
2020

3

APPLICATION
FOR
INSPECTION

CITY OF LOS ANGELES DEPT. OF BUILDING AND SAFETY

Earthquake Safety Division
450-YTO ADD-ALY
REPAIR-DEMOL
AND FOR CERTIFICATE
OF OCCUPANCY

INSTRUCTIONS: 1. Applicant to Complete Numbered Items Only.

1. LEGAL DESCR.	LOT 6	BLOCK	TRACT 17683	COUNCIL DISTRICT NO. 9	DIST. MAP 126B205
2. PRESENT USE OF BUILDING	16, Ret. Store & Apts.			NEW USE OF BUILDING	Same
3. JOB ADDRESS	1246-48 S. Hope St.			LOT TYPE	Corner
4. BETWEEN CROSS STREETS	12th St. AND Pico Blvd.			LOT SIZE	Irreg.
5. OWNER'S NAME	Rudy Ramos			PHONE	721-9280
6. OWNER'S ADDRESS	1605 W. Whittier Blvd.			CITY	Montebello 90640
7. ENGINEER	Jose A. Aguilar			ACTIVE STATE LIC. NO.	734-3666
8. ARCHITECT OR DESIGNER	N/A			PHONE	
9. ARCHITECT OR ENGINEER'S ADDRESS	1914 So. Vermont Av. L.A.			CITY	90007
10. CONTRACTOR	N/S Owner			ACTIVE STATE LIC. NO.	
11. SIZE OF EXISTING BLDG.	WIDTH 91	LENGTH 156	STORIES 5	HEIGHT 51	NO. OF EXISTING BUILDINGS ON LOT AND USE
12. CONST. MATERIAL	EXT. WALLS URM			FLOOR	WOOD
13. JOB ADDRESS	1246-48 S. Hope St.			STREET GUIDE	
14. VALUATION TO INCLUDE ALL FIXED EQUIPMENT REQUIRED TO OPERATE AND USE PROPOSED BUILDING					\$ 369,000.00
15. NEW WORK (Describe)	FULL COMPLIANCE WITH DIV. 88			GRADING	FLOOD
ALT I, CALLS III A				HWY. DEB.	Yes
NEW USE OF BUILDING				STORIES	HEIGHT
Retail & Apts.				FILE WITH	Stuart
TYPE	GROUP	FLOOR AREA	TOTAL	PLANS CHECKED	APPROVED
III N	Occ. B-2/R-1		351	Stuart	
DWELL UNITS	MAX OCC. 173/178	PARKING PROVIDED	INSPECTION ACTIVITY	INSPECTOR	
GUEST ROOMS	PARKING REQD	STD. COMP.	COMB GEN. MAJS. CONS.	EQ	
PC	957.52	EPR	957.52 EQPC		
SFC	22.53	FV	19.15 OSS		
EP	1126.50	ES	97 3 03/10/87		976.67 CHTD
IF	811.80	ES	1126.50 EQBP		
OS	19.15	ES	22.52 PL-N		
DIST. OFFICE	L.A.	SPRINKLERS	55.35 EI-C		
P.C. NO.	C 8205	REQD SPEC.	811.80 FIRE		
PLAN CHECK EXPIRES ONE YEAR AFTER FEE IS PAID. PERMIT EXPIRES TWO YEARS AFTER FEE IS PAID OR 180 DAYS AFTER FEE IS PAID IF CONSTRUCTION IS NOT COMMENCED.			CASHIER'S USE ONLY		

DECLARATIONS AND CERTIFICATIONS

LICENSED CONTRACTORS DECLARATION

16. I hereby affirm that I am licensed under the provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

Date _____ Lic. Class _____ Lic. Number _____ Contractor _____ (Signature) _____

OWNER-BUILDER DECLARATION

17. I hereby affirm that I am exempt from the Contractor's License Law for the following reason (Sec. 7031.5, Business and Professions Code): Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that the is licensed pursuant to the provisions of the Contractor's License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500). I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code: The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or through his own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he did not build or improve for the purpose of sale).

I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractor's License Law).

I am exempt under Sec. _____, B. & P. C. for this reason _____

Date 4-27-87 Owner's Signature RAYOR ZAM BY [Signature]

WORKERS' COMPENSATION DECLARATION

18. I hereby affirm that I have a certificate of consent to self-insure, or a certificate of Worker's Compensation Insurance, or a certified copy thereof (Sec. 3600, Lab. C.).

Insurance Company _____

Policy No. _____

Certified copy is hereby furnished.

Certified copy is filed with the Los Angeles City Dept. of Bldg. & Safety.

Date _____ Applicant's Signature _____

Applicant's Mailing Address _____

CERTIFICATE OF EXEMPTION FROM WORKERS' COMPENSATION INSURANCE

19. I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Workers' Compensation Laws of California.

Date 4-27-87 Applicant's Signature RAYOR ZAM BY [Signature]

NOTICE TO APPLICANT: If, after making this Certificate of Exemption, you should become subject to the Workers' Compensation provisions of the Labor Code, you must forthwith comply with such provisions or this permit shall be deemed revoked.

CONSTRUCTION LENDING AGENCY

20. I hereby affirm that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C.).

Lender's Name _____ Lender's Address _____

21. I certify that I have read this application and state that the above information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this city to enter upon the above-mentioned property for inspection purposes.

I realize that this permit is an application for inspection, that it does not approve or authorize the work specified herein, that it does not authorize or permit any violation or failure to comply with any applicable law, that neither the city of Los Angeles nor any board, department, officer or employee thereof makes any warranty or shall be responsible for the performance or results of any work described herein or the condition of the property or soil upon which such work is performed (See Sec. 91.0202 LAMC)

Signed [Signature] Position _____ Date 4-27-87

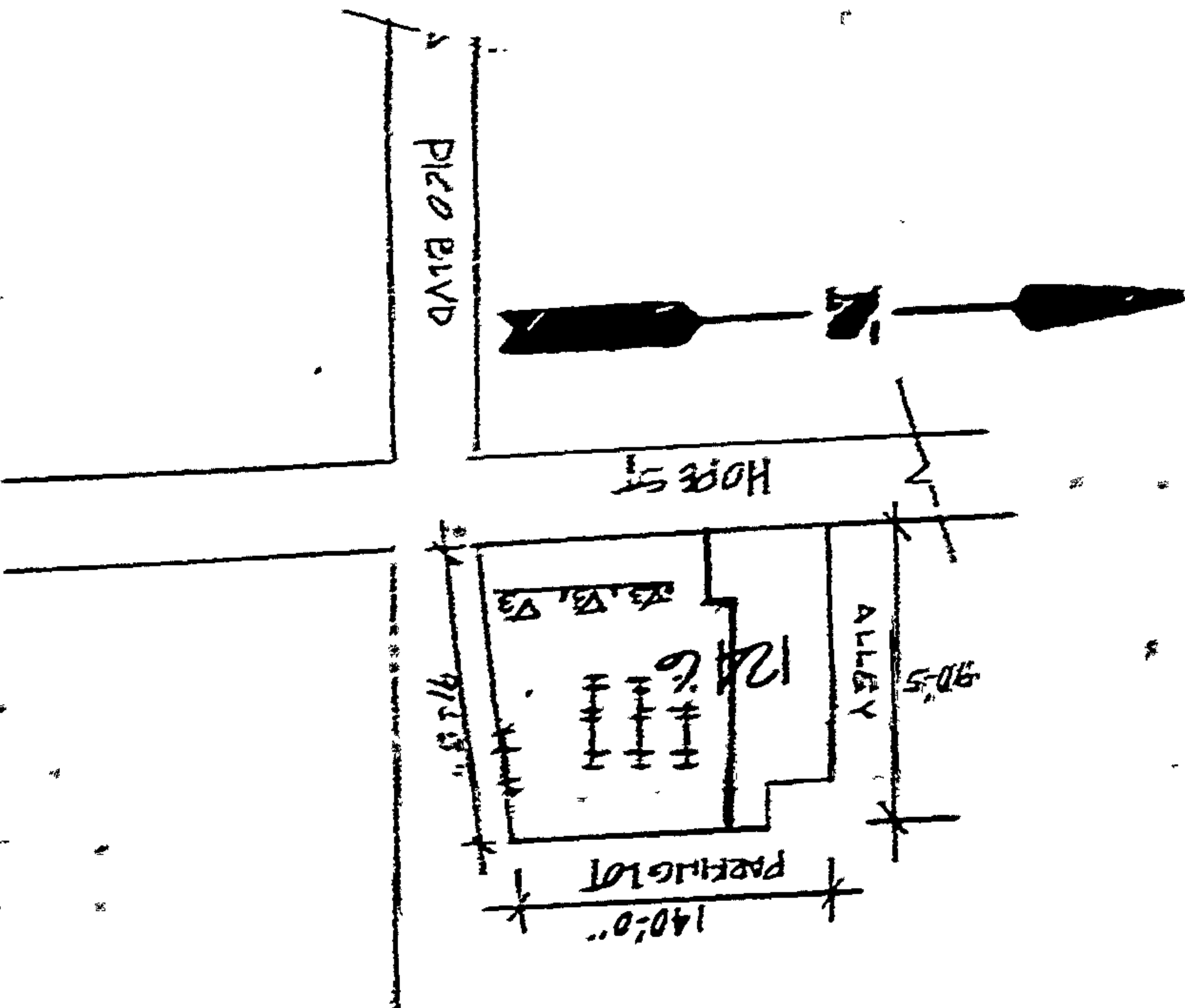
(Owner or agent having property owner's consent)

1 3 3 2 3 3 1 3 3

NS992 6 02/18/88 2056.50 PNDP

1126.50 BU
22.83 PL-M
811.00 E1-L
140.32 USS
89629 UD01

PLOT PLAN



TO 442 CA (5-73)
(Corporation)



A TICO COMPANY

STATE OF CALIFORNIA

COUNTY OF LOS ANGELES } SS.

On APRIL 27, 1987 before me, the undersigned, a Notary Public in and for said
State, personally appeared KUDY RAMOS
known to me to be the RAMOS ZAM President, and

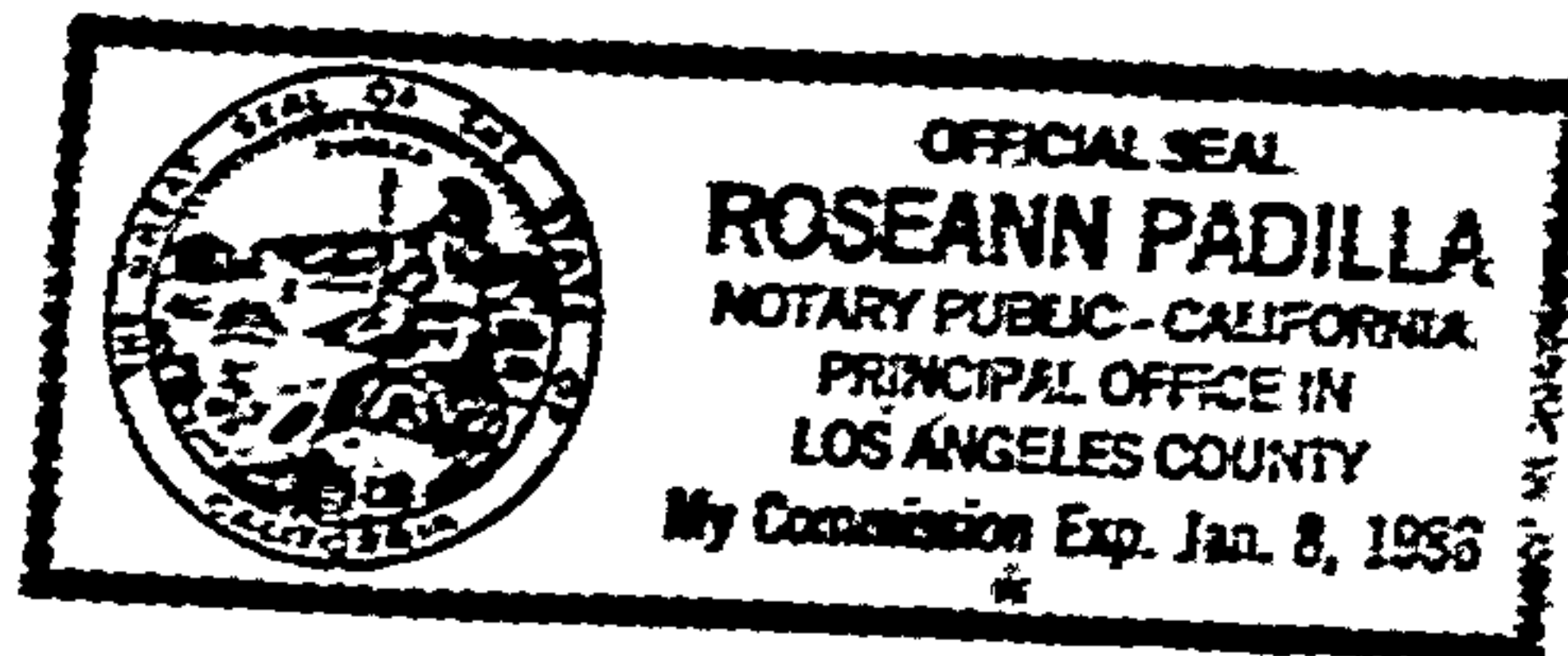
known to me to be _____ Secretary of the corporation that executed the within Instrument,
known to me to be the persons who executed the within
Instrument on behalf of the corporation therein named, and
acknowledged to me that such corporation executed the within
instrument pursuant to its by-laws or a resolution of its board
of directors.

WITNESS my hand and official seal.

Signature Roseann Padilla

Roseann Padilla

Name (Typed or Printed)



(This area for official notarial seal)

FOR
INSPECTION

Earthquake Safety Division

INSTRUCTIONS: 1. Applicant to Complete Numbered Items Only

1. LEGAL DESCR.	LOT 6	BLOCK -	TRACT (MP429-47/48) 17683	COUNCIL DISTRICT NO. 9	DIST. MAP 126-205 CENSUS TRACT 2079
2. PRESENT USE OF BUILDING (13/12/17) Apts/Retl/Office	NEW USE OF BUILDING (13/12/17) same			ZONE (O)R5-40-0	
3. JOB ADDRESS 1246 S. HOPE STREET					FIRE DIST. ONE
4. BETWEEN CROSS STREETS 12th AND Pico	(MP429-47/48)				LOT TYPE CORNER
5. OWNER'S NAME Rudy Ramos	PHONE				LOT SIZE 12RMS.
6. OWNER'S ADDRESS 1246 S. HOPE ST	CITY	ZIP			
7. ENGINEER Charlie Tzeng	BUS. LIC. NO. C34005	ACTIVE STATE LIC. NO.	PHONE 386-5929	ALLEY -	
8. ARCHITECT OR DESIGNER	BUS. LIC. NO.	ACTIVE STATE LIC. NO.	PHONE	BLDG. LINE	
9. ARCHITECT OR ENGINEER'S ADDRESS 1543 W. OLYMPIC BLD. 437	CITY 90015	ZIP			AFFIDAVITS DPD ZAI-81-059
10. CONTRACTOR SANKOR CONGT.	BUS. LIC. NO. 551636	ACTIVE STATE LIC. NO.	PHONE 4131002	P.C. REQ'D no (e)	
11. SIZE OF EXISTING BLDG. WIDTH 90' LENGTH 56' STORIES 4 HEIGHT 53' NO. OF EXISTING BUILDINGS ON LOT AND USE 1					DISTRICT OFFICE I.A.
12. CONST. MATERIAL OF EXISTING BLDG. →	EXT. WALLS URM	ROOF COMPO	FLOOR SLAB	SEISMIC STUDY ZONE -	
13. JOB ADDRESS 1246 S. HOPE STREET	STREET GUIDE				
14. VALUATION TO INCLUDE ALL FIXED EQUIPMENT REQUIRED TO OPERATE AND USE PROPOSED BUILDING	\$ 494,000.00				
15. NEW WORK (Describe) Full Comp. w/Div 88 RGA: Method					GRADING - FLOOD - HWY. DED. yes CONS. -

NEW USE OF BUILDING		SIZE OF ADDITION		STORIES	HEIGHT	ZONED BY B. Kanegawa	
TYPE JIN	GROUP OCC. R-1/B2	FLOOR AREA NC	PLANS CHECKED BRIAN KANEGAWA		APPLICATION APPROVED BRIAN KANEGAWA		
DWELL UNITS NC	MAX OCC. NC	TOTAL		INSPECTION ACTIVITY		INSPECTOR	
GUEST ROOMS -	PARKING REQ'D NC	PARKING PROVIDED STD. COMP.		COMB	GEN.	MAJS.	CONS.
P.C. 1223.15	G.P.I. -	CONT. TORQUE TEST INSP. FULL PEN.		B & SB-3 (R.2/87)			
S.P.C. -	P.M. 28.78						
B.P. 1439.00	E.I. 74.10	Claims for refund of fees paid on permits must be filed: 1. Within one year from date of payment of fee; or 2. Within one year from date of expiration of extension for building or grading permits granted by the Dept. of B. & S. SECTIONS 22.12 & 22.13 LAMC.					
I.F. -	F.H. 1086.80						
S.D. -	O.S.S. 24.46						
DIST. OFFICE HO	S.O.S.S. 52.57	SPRINKLERS REQ'D SPEC.					
P.C. NO. E2410	C/O	ENERGY					

Unless a shorter period of time has been established by an official action, plan check approval expires one year after the fee is paid and this permit expires two years after the fee is paid or 180 days after the fee is paid if construction is not commenced

2681.25

CASHIER'S USE ONLY

1223.15 EODPE
24.46 OSS
1439.00 EODP
28.78 PL/M
74.10 E.I.C
1086.80 FIRE
52.57 OSS
24.46 DODI
W4900 3-14/31/89 2681.25 CHTD.

HO-2696
10-31-89

DECLARATIONS AND CERTIFICATIONS

LICENSED CONTRACTORS DECLARATION

16. I hereby affirm that I am licensed under the provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

Date 9-1-89 Lic. Class B Lic. Number 551636 Contractor

(Signature)

OWNER-BUILDER DECLARATION

17. I hereby affirm that I am exempt from the Contractor's License Law for the following reason (Sec. 7031.5, Business and Professions Code: Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he is licensed pursuant to the provisions of the Contractor's License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).):

☐ I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code: The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or through his own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he did not build or improve for the purpose of sale.).

☐ I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractor's License Law.).

☐ I am exempt under Sec. B. & P. C. for this reason

Date Owner's Signature

WORKERS' COMPENSATION DECLARATION

18. I hereby affirm that I have a certificate of consent to self-insure, or a certificate of Worker's Compensation Insurance, or a certified copy thereof (Sec. 3800, Lab. C.).

Policy No. 112202089 Insurance Company ST HEMP

☐ Certified copy is hereby furnished.

☒ Certified copy is filed with the Los Angeles City Dept. of Bldg. & Safety

Date 9-1-89 Applicant's Signature

Applicant's Mailing Address 1833 W. 8th ST STE 101 L.A. CA 90057

CERTIFICATE OF EXEMPTION FROM WORKERS' COMPENSATION INSURANCE

19. I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Workers' Compensation Laws of California.

Date Applicant's Signature

NOTICE TO APPLICANT: If, after making this Certificate of Exemption, you should become subject to the Workers' Compensation provisions of the Labor Code, you must forthwith comply with such provisions or this permit shall be deemed revoked.

CONSTRUCTION LENDING AGENCY

20. I hereby affirm that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C.).

Lender's Name Lender's Address

21. I certify that I have read this application and state that the above information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this city to enter upon the above-mentioned property for inspection purposes.

I realize that this permit is an application for inspection, that it does not approve or authorize the work specified herein, that it does not authorize or permit any violation or failure to comply with any applicable law, that neither the city of Los Angeles nor any board, department, officer or employee thereof make any warranty or shall be responsible for the performance or results of any work described herein or the condition of the property or soil upon which such work is performed. (See Sec. 91.0202 LAMC)

Signed (Owner or agent having property owner's consent)

CONTRACTOR

9-1-89

Date

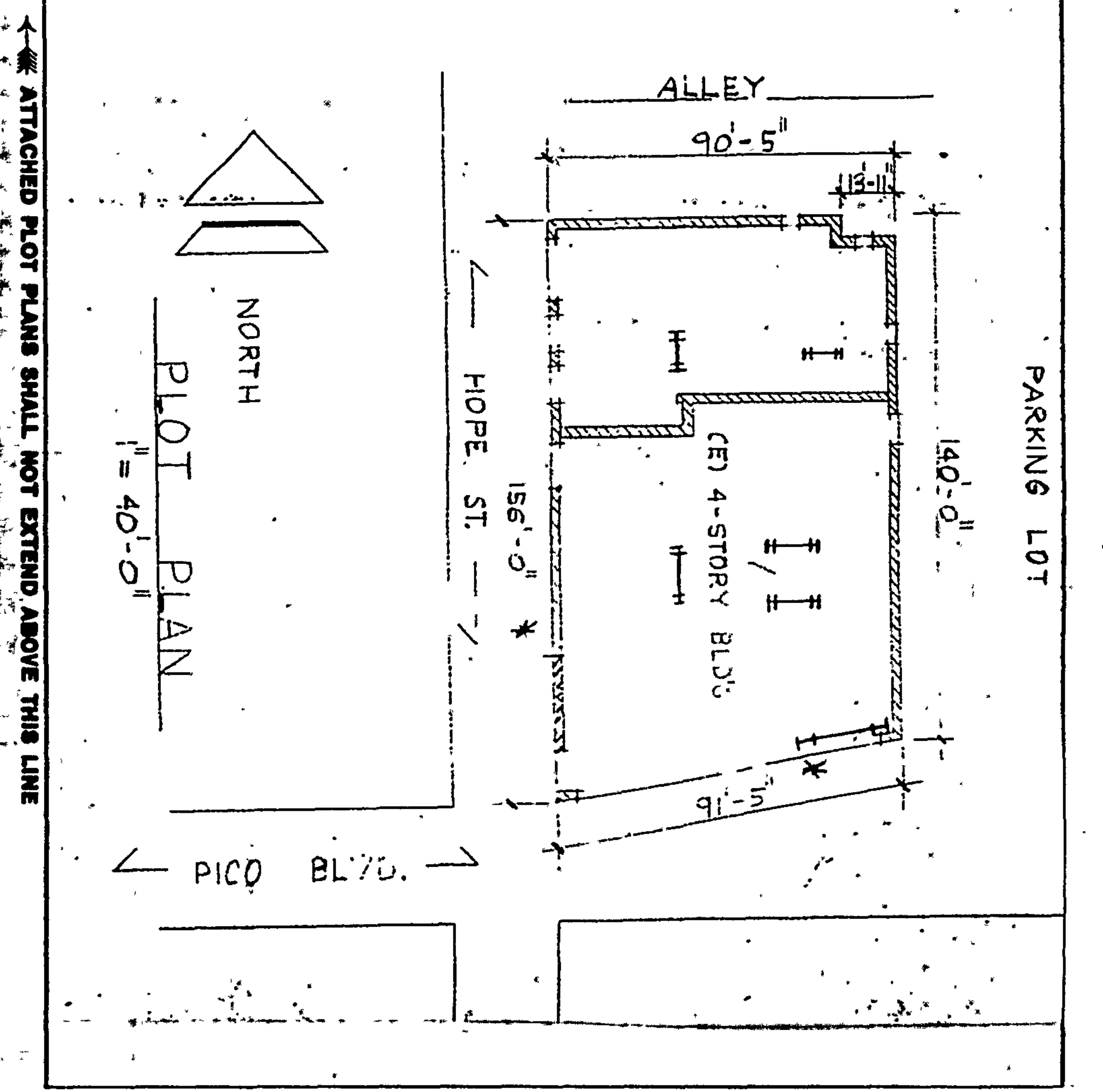
Bureau of Engineering	ADDRESS APPROVED		
	DRIVEWAY		0 1 6 2
	HIGHWAY DEDICATION	REQUIRED COMPLETED	2
	FLOOD CLEARANCE		
SEWERS		SEWERS AVAILABLE	
		NOT AVAILABLE	
		SFC PAID	
		SFC DUE	
	SFC NOT APPLICABLE		
Grading	PRIVATE SEWAGE SYSTEM APPROVED		
Conservation	APPROVED FOR ISSUE <input type="checkbox"/> NO FILE <input type="checkbox"/> FILE CLOSED <input type="checkbox"/>		
Fire	APPROVED (TITLE 19) (L.A.M.C.-S700)		
Housing	HOUSING AUTHORITY APPROVAL		
Planning	APPROVED UNDER CASE #		
Traffic	APPROVED FOR		
Construction Tax	RECEIPT NO.	DWELLING UNITS	

LEGAL DESCRIPTION

ON PLOT PLAN SHOW ALL BUILDINGS ON LOT AND USE OF EACH

TIME EXT. - BD FILE # 890447 W/ PREJUDICE
Permit 7-14-89) PHST.
start 7-15-89
FINISH 2-12-90

* EXISTING 4" VENEER ON SOUTH & WEST WALLS



INSTRUCTIONS: 1. Applicant to Complete Numbered Items Only.

1. LEGAL DESCR.	LOT 6 & 7	BLOCK /	TRACT 17683	CITY CLERK REF. NO. MP 429-47/48	DIST. MAP 126A207	CENSUS TRACT
2. PRESENT USE OF BUILDING	residential/comm			NEW USE OF BUILDING	same	
3. JOB ADDRESS	427-441 W Pico Blvd			SUITE/UNIT NO.	FIRE DIST.	COUNTY DIST.
4. BETWEEN CROSS STREETS	Hope AND Pico			LOT TYPE		
5. OWNER'S NAME () TENANT () BUILDING	Safid Aminpour			PHONE	LOT SIZE	
6. OWNER'S ADDRESS	9114 Balboa Blvd			CITY Northridge	ZIP 91325	
7. ENGINEER	Donn			BUS. LIC. NO.	ACTIVE STATE LIC. NO.	PHONE
8. ARCHITECT OR DESIGNER				BUS. LIC. NO.	ACTIVE STATE LIC. NO.	PHONE
9. ARCHITECT OR ENGINEER'S ADDRESS	5886 S Central Av			CITY LA	ZIP 90001	DOCUMENTS/EASEMENTS
10. CONTRACTOR				BUS. LIC. NO.	ACTIVE STATE LIC. NO.	PHONE
11. SIZE OF EXISTING BLDG.	WIDTH	LENGTH	STORIES	HEIGHT	NO. OF EXISTING BUILDINGS ON LOT AND USE	
12. FRAMING MATERIAL OF EXISTING BLDG.	EXT. WALLS			ROOF	FLOOR	
13. JOB ADDRESS	427-441 W Pico Blvd			SUITE/UNIT NO.		
14. VALUATION TO INCLUDE ALL FIXED EQUIPMENT REQUIRED TO OPERATE AND USE PROPOSED BUILDING				\$	800,00	DIST. OFF. LA P.C. REQ'D NO(B)
15. NEW WORK (Describe)	changing 5 window w/ same size windows			GRADING SEISMIC		

NEW USE OF BUILDING	SIZE OF ADDITION	STORIES	HEIGHT	FILE WITH
TYPE	GROUP OCC.	MAX. OCC.	BUILDING ZONING	ZONED BY
DWELL UNITS	BUILDING AREA	ZONING AREA	APPLICATION APPROVED	TYPIST
GUEST ROOMS	PARKING REQ'D	PARKING PROVIDED	INSPECTION ACTIVITY	INSPECTOR
P.C.	G.P.I. + NP	CONT. INSP.	CS	GEN. MAJ.S. EQ.
S.R.C.	P.M.			
B.P.	E.I.	Claims for refund of fees paid on permits must be filed: 1. Within one year from date of payment of fee; or 2. Within one year from date of expiration of extension for building or grading permits granted by the Dept. of B. & S. SECTIONS 22 12 & 22.13 LAMC.	CASHIER'S USE ONLY	
I.F.	F.H.			
S.D.	O.S.S.			
ISS. OFF.	S.O.S.S.			
P.C. NO.	C/O	ENERGY	APPROVED	

04/30/91 09:47:25AM LAD4 T-7895 C 27	25.00
BLD. PER. COMM	0.50
EI COMMERCIAL	1.00
ONE STOP SURCH	26.50
TOTAL	27.00
CASH	0.50
CHANGE	

Unless a shorter period of time has been established by an official action, plan check approval expires one year after the fee is paid and this permit expires two years after the fee is paid or 180 days after the fee is paid if construction is not commenced.

NEW AFFIDAVITS	
PLAN CHECK EXTENDED TO	PER
ADMINISTRATIVE APPROVAL DATED	
BY	
D.A.D. PLANS CHECKED	
HOUSING MITIGATION FEE ORDINANCE	
ASBESTOS NOTIFICATION	
Check Box: <input type="checkbox"/> Notification letter sent to AQMD or EPA.	
<input checked="" type="checkbox"/> I declare that notification of asbestos removal is not applicable to addressed project.	
Signature	Date 4-29-91

DECLARATIONS AND CERTIFICATIONS	
LICENSED CONTRACTORS DECLARATION	
16. I hereby affirm that I am licensed under the provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.	
Date	Lic. Class Lic. Number Contractor (Signature)

OWNER-BUILDER DECLARATION	
17. I hereby affirm that I am exempt from the Contractor's License Law for the following reason (Sec. 7031.5, Business and Professions Code: Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he is licensed pursuant to the provisions of the Contractor's License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).):	
<input type="checkbox"/> I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code: The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or through his own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he did not build or improve for the purpose of sale.).	
<input type="checkbox"/> I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractor's License Law.).	
<input type="checkbox"/> I am exempt under Sec. B. & P. C. for this reason.	
Date	Owner's Signature

WORKERS' COMPENSATION DECLARATION	
18. I hereby affirm that I have a certificate of consent to self-insure, or a certificate of Worker's Compensation Insurance, or a certified copy thereof (Sec. 3800, Lab. C.).	
Policy No.	Insurance Company
<input type="checkbox"/> Certified copy is hereby furnished.	
<input type="checkbox"/> Certified copy is filed with the Los Angeles City Dept. of Bldg. & Safety.	
Date	Applicant's Signature
Applicant's Mailing Address	

CERTIFICATE OF EXEMPTION FROM WORKERS' COMPENSATION INSURANCE	
19. I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Workers' Compensation Laws of California.	
Date	Applicant's Signature
NOTICE TO APPLICANT: If, after making this Certificate of Exemption, you should become subject to the Workers' Compensation provisions of the Labor Code, you must forthwith comply with such provisions or this permit shall be deemed revoked.	

CONSTRUCTION LENDING AGENCY	
20. I hereby affirm that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C.).	
Lender's Name	Lender's Address

21. I certify that I have read this application and state that the above information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this city to enter upon the above-mentioned property for inspection purposes.	
I realize that this permit is an application for inspection, that it does not approve or authorize the work specified herein, that it does not authorize or permit any violation or failure to comply with any applicable law, that neither the city of Los Angeles nor any board, department, officer or employee thereof make any warranty or shall be responsible for the performance or results of any work described herein or the condition of the property or soil upon which such work is performed. (See Sec. 91.0202 LAMC)	
Signed	Position
Date	

3 2 4 0 0 3 0 0 1 5 6

Bureau of Engineering		ADDRESS APPROVED		
		DRIVEWAY		
		HIGHWAY	REQUIRED	
		DEDICATION	COMPLETED	
		FLOOD CLEARANCE		
Public Works Improvement	Required YES <input type="checkbox"/> NO <input type="checkbox"/>	PERMIT	#	
SEWERS			SEWERS AVAILABLE	
RES. NO.			NOT AVAILABLE	
CERT. NO.			SFC PAID	
		SFC NOT APPLICABLE	SFC DUE	
Grading	PRIVATE SEWAGE SYSTEM APPROVED			
Comm. Safety	APPROVED FOR ISSUE <input type="checkbox"/> NO FILE <input type="checkbox"/> FILE CLOSED <input type="checkbox"/>			
CEQA				
Fire	APPROVED (TITLE 19) (L.A.M.C.-S700)			
	APPROVED - HYDRANT UNIT, ROOM 920 CHE			
CRA	APPROVED PER REDEV. PROJECT			
Transportation	APPROVED FOR DRIVEWAY LOCATION			
	APPROVED FOR ORD. #			
Planning	WORK SHEET #			
	APPROVED UNDER CASE #			
	LANDSCAPE / XERISCAPE			
	SIGHT PLAN REVIEW			
Housing	HOUSING AUTHORITY AFFIDAVIT NO.			
Construction Tax	RECEIPT NO.	DWELLING UNITS		
Cultural Affairs				
Rent Stabilization Division				

LEGAL DESCRIPTION

ON PLOT PLAN SHOW ALL BUILDINGS ON LOT AND USE OF EACH

Handwritten signature

THE COMMUNITY REDEVELOPMENT AGENCY
OF THE CITY OF LOS ANGELES, CALIFORNIA

THESE PLANS ARE APPROVED AS BEING IN COMPLIANCE
WITH APPLICABLE REDEVELOPMENT PLANS.

PROJECT CBD PARCEL SP

BY *Handwritten signature*

TITLE Assoc. Plan DATE 4/30/91

CEQA CLEARED

ATTACHED PLOT PLANS SHALL NOT EXTEND ABOVE THIS LINE

3

APPLICATION

CITY OF LOS ANGELES

DEPT. OF BUILDING AND SAFETY

TO ADD-ALTER-
REPAIR-DEMOLISH
AND FOR CERTIFICATE
OF OCCUPANCYFOR
INSPECTION

INSTRUCTIONS: 1. Applicant to Complete Numbered Items Only.

126B205

1. LEGAL DESCR.	LOT 6	BLOCK 17683	TRACT	COUNTY REF. NO. Mp 429-47/48	DIST. MAP 126A207	CENSUS TRACT 2070
2. PRESENT USE OF BUILDING () <u>Hotel</u>	NEW USE OF BUILDING () <u>Same</u>			ZONE [Q] RD5-4D-0		
3. JOB ADDRESS 1246 S. Hope St.	FIRE DIST. 1				COUN. DIST. 9	
4. BETWEEN CROSS STREETS Pico Blvd.	AND				LOT TYPE corner	
5. OWNER'S NAME Morrison Hotel L.A.	PHONE 748-6442				LOT SIZE irreg.	
6. OWNER'S ADDRESS 1246 S. Hope	CITY ZIP 90015					
7. ENGINEER	BUS. LIC. NO.	ACTIVE STATE LIC. NO.	PHONE	ALLEY		
8. ARCHITECT OR DESIGNER	BUS. LIC. NO.	ACTIVE STATE LIC. NO.	PHONE	BLDG. LINE		
9. ARCHITECT OR ENGINEER'S ADDRESS	CITY	ZIP	AFFIDAVITS ZAI 81-859			
10. CONTRACTOR <u>JOSE N SOSA</u>	BUS. LIC. NO. 519299	ACTIVE STATE LIC. NO. 818/242-7364	PHONE	ZI 940 ZI 1638 DPD CCPD		
11. SIZE OF EXISTING BLDG. WIDTH LENGTH	STORIES	HEIGHT	NO. OF EXISTING BUILDINGS ON LOT AND USE			
12. FRAMING MATERIAL OF EXISTING BLDG.	EXT. WALLS	ROOF	FLOOR			
13. JOB ADDRESS 1246 S. Hope Street	STREET GUIDE					
14. VALUATION TO INCLUDE ALL FIXED EQUIPMENT REQUIRED TO OPERATE AND USE PROPOSED BUILDING	\$ 10,000.00				DIST. OFF. LA	P.C. REQ'D NO
15. NEW WORK (Describe) <u>Tear off and new roof</u>	<u>Same</u>				GRADING yes	SEISMIC FLOOD
NEW USE OF BUILDING <u>Same</u>	SIZE OF ADDITION		STORIES	HEIGHT	FILE WITH	
TYPE GROUP OCC.	FLOOR AREA	PLANS CHECKED		ZONED BY <u>Miller</u>		
DWELL UNITS	MAX OCC.	TOTAL		APPLICATION APPROVED <u>[Signature]</u>		
GUEST ROOMS	PARKING REQ'D	PARKING PROVIDED STD. COMP.		INSPECTOR Toya		
P.C.	G.P.I. + NP	CONT. INSP.		B & S B-3 (R.7/89)		
S.P.C.	P.M.			07/12/90 10:38:25AM LAD4 T-0767 C 08		
B.P.	E.I.	Claims for refund of fees paid on permits must be filed: 1. Within one year from date of payment of fee; or 2. Within one year from date of expiration of extension for building or grading permits granted by the Dept. of B. & S. SECTIONS 22.12 & 22.13 LAMC.		ELD PER COMMERCIAL 74.00		
I.F.	F.H.			EI COMMERCIAL 1.50		
S.D.	O.S.S.			ONE STOP 1.51		
ISS. OFF. LA	S.O.S.S.	SPRINKLERS REQ'D SPEC.		TOTAL 77.01		
P.C. NO. CC	C/O	ENERGY		CASH 100.00		
		DAS		CHANGE 22.99		
Unless a shorter period of time has been established by an official action, plan check approval expires one year after the fee is paid and this permit expires two years after the fee is paid or 180 days after the fee is paid if construction is not commenced.						
77.01						
90LA 59513						

DECLARATIONS AND CERTIFICATIONS
LICENSED CONTRACTORS DECLARATION

16. I hereby affirm that I am licensed under the provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

Date 7-12-90 Lic. Class X Lic. Number 519299 Contractor [Signature]

OWNER-BUILDER DECLARATION

17. I hereby affirm that I am exempt from the Contractor's License Law for the following reason (Sec. 7031.5, Business and Professions Code: Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he is licensed pursuant to the provisions of the Contractor's License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).):

☐ I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code: The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or through his own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he did not build or improve for the purpose of sale.).

☐ I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractor's License Law.).

☐ I am exempt under Sec. _____, B. & P. C. for this reason _____

Date _____ Owner's Signature _____

WORKERS' COMPENSATION DECLARATION

18. I hereby affirm that I have a certificate of consent to self-insure, or a certificate of Worker's Compensation Insurance, or a certified copy thereof (Sec. 3800, Lab. C.).

Policy No. _____ Insurance Company _____

☐ Certified copy is hereby furnished.

☐ Certified copy is filed with the Los Angeles City Dept. of Bldg. & Safety.

Date _____ Applicant's Signature _____

Applicant's Mailing Address _____

CERTIFICATE OF EXEMPTION FROM WORKERS' COMPENSATION INSURANCE

19. I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Workers' Compensation Laws of California.

Date 7-12-90 Applicant's Signature [Signature]

NOTICE TO APPLICANT: If, after making this Certificate of Exemption, you should become subject to the Workers' Compensation provisions of the Labor Code, you must forthwith comply with such provisions or this permit shall be deemed revoked.

CONSTRUCTION LENDING AGENCY

20. I hereby affirm that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C.).

Lender's Name _____ Lender's Address _____

21. I certify that I have read this application and state that the above information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this city to enter upon the above-mentioned property for inspection purposes.

I realize that this permit is an application for inspection, that it does not approve or authorize the work specified herein, that it does not authorize or permit any violation or failure to comply with any applicable law, that neither the city of Los Angeles nor any board, department officer or employee thereof make any warranty or shall be responsible for the performance or results of any work described herein or the condition of the property or soil upon which such work is performed. (See Sec. 91.0202 LAMC)

Signed _____ Position _____ Date 7-12-90

(Owner or agent having property owner's consent)

1 9 2 0 0 . 3 0 0 1 9 1

Bureau of Engineering		ADDRESS APPROVED		Bergman 7/12/90
		DRIVEWAY		
		HIGHWAY	REQUIRED	
		DEDICATION	COMPLETED	
		FLOOD CLEARANCE		
SEWERS RES.NO. CERT.NO.			SEWERS AVAILABLE	
			NOT AVAILABLE	
			SFC PAID	
			SFC DUE	
Grading		PRIVATE SEWAGE SYSTEM APPROVED		
Comm. Safety		APPROVED FOR ISSUE <input type="checkbox"/> NO FILE <input type="checkbox"/> FILE CLOSED <input type="checkbox"/>		
Fire		APPROVED (TITLE 19) (L.A.M.C.-S700)		
Housing		HOUSING AUTHORITY APPROVAL		
Planning		APPROVED UNDER CASE #		
Transportation		APPROVED FOR		
Construction Tax		RECEIPT NO.	DWELLING UNITS	

LEGAL DESCRIPTION

ON PLOT PLAN SHOW ALL BUILDINGS ON LOT AND USE OF EACH

ATTACHED PLOT PLANS SHALL NOT EXTEND ABOVE THIS LINE

1240 S Hope St



Permit #: 19048 - 10000 - 02020
Plan Check #: B19LA16664
Event Code:
Printed: 08/14/19 11:44 AM

Sign	City of Los Angeles - Department of Building and Safety	Issued on: 08/14/2019
Onsite	APPLICATION FOR INSTALLATION AND INSPECTION OF SIGNS	Last Status: Issued
Appointment Plan Check		Status Date: 08/14/2019
Plan Check		

1. TRACT	BLOCK	LOT(s)	ARB	COUNTY MAP REF #	PARCEL ID # (PIN #)	2. ASSESSOR PARCEL #
TR 17683		5		M B 429-47/48	126A207 124	5139 - 022 - 020

3. PARCEL INFORMATION		
Area Planning Commission - Central	Census Tract - 2079.00	Near Source Zone Distance - 0
LADBS Branch Office - LA	District Map - 126A207	Parking Dist. - CCPD
Council District - 14	Energy Zone - 9	Parking Dist. - DPD
Certified Neighborhood Council - Downtown Los Angeles	Fire District - 1 (Entire parcel)	Thomas Brothers Map Grid - 634-D5
Community Plan Area - Central City	Methane Hazard Site - Methane Zone	
ZONES(S): [Q]R5-4D-O		

4. DOCUMENTS		
ZI - ZI-2374 LOS ANGELES STATE ENTER ORD - ORD-128690	ORD - ORD-164307-SA3030	CPC - CPC-1994-225-CPU-ZC
ZI - ZI-2385 Greater Downtown Housing Ince ORD - ORD-129944	CRA - ZI 2316 CITY CENTER REDEV PRJC	CPC - CPC-2005-1122-CA
ZI - ZI-2452 Transit Priority Area in the Cit ORD - ORD-135901	CPC - CPC-17168	CPC - CPC-2005-1124-CA
ZA - ZA-2018-2293-MCUP-CUX-ZV-DD-SP ORD - ORD-137036	CPC - CPC-1986-606-GPC	CPC - CPC-2005-361-CA

5. CHECKLIST ITEMS
Temporary Sign - Permit Expires:09/12/19

6. PROPERTY OWNER, TENANT, APPLICANT INFORMATION
Owner(s): MORRISON RESIDENTIAL LLC 1605 CAHUENGA BLVD, HOLLYWOOD CA 90028 --
Tenant:
Applicant: (Relationship: Other) LARRY ABEL - , -- (818) 434-3482

For Cashier's Use Only W/O #: 94802020

7. EXISTING USE	PROPOSED USE
	(19) Temporary Sign

8. DESCRIPTION OF WORK
FOR ON SITE TEMPORARY SIGN ON ALLEY WALL WITH 7'-0"X7'-0".Temporary sign is required to be removed 30 days after installation

9. # Bldgs on Site & Use:

10. APPLICATION PROCESSING INFORMATION	
BLDG. PC By: Arsalan Shabestari	DAS PC By:
OK for Cashier: Clifford Ude	Coord. OK:
Signature:	Date: 08/14/2019

11. PROJECT VALUATION	
Permit Valuation: \$2,000	PC Valuation:
Sewer Cap ID:	Total Bond(s) Due:

12. ATTACHMENTS
Plot Plan

For inspection requests, call toll-free (888) LA4BUILD (524-2845), or request inspections via www.ladhs.org. To speak to a Call Center agent, call 311. Outside LA County, call (213) 473-3231.

LA NELI 102151760 8/14/2019 11:44:06 AM	
BUILDING PERMIT COMM	\$130.00
BUILDING PLAN CHECK	\$0.00
EI COMMERCIAL	\$0.56
DEV SERV CENTER SURCH	\$5.81
SYSTEMS DEVT FEE	\$11.61
CITY PLANNING SURCH	\$9.42
MISCELLANEOUS	\$10.00
PLANNING GEN PLAN MAINT SURCH	\$10.99
CA BLDG STD COMMISSION SURCHARGE	\$1.00
BUILDING PLAN CHECK	\$27.00
ELECTRICAL PERMIT-COMM	\$36.00

Sub Total: \$242.39

Permit #: 190481000002020
Building Card #: 2019LA30959
Receipt #: 0102078491



* P 1 9 0 4 8 1 0 0 0 0 2 0 2 0 F N *

1000910201904071

13. STRUCTURE INVENTORY

(Note: Numeric measurement data in the format "number / number" implies "change in numeric value / total resulting numeric value")

19048 - 10000 - 02020**14. APPLICATION COMMENTS:**

In the event that any box (i.e. 1-16) is filled to capacity, it is possible that additional information has been captured electronically and could not be printed due to space restrictions. Nevertheless the information printed exceeds that required by section 19825 of the Health and Safety Code of the State of California.

15. BUILDING RELOCATED FROM:**16. CONTRACTOR, ARCHITECT & ENGINEER NAME****ADDRESS****CLASS****LICENSE #****PHONE #**

(C) C C & E COMPANIES

1828 S WESTERN AVE #101,

LOS ANGELES, CA 90006

B

999877

PERMIT EXPIRATION/REFUNDS: This permit expires two years after the date of the permit issuance. This permit will also expire if no construction work is performed for a continuous period of 180 days (Sec. 98.0602 LAMC). Claims for refund of fees paid must be filed within one year from the date of expiration for permits granted by LADBS (Sec. 22.12 & 22.13 LAMC). The permittee may be entitled to reimbursement of permit fees if the Department fails to conduct an inspection within 60 days of receiving a request for final inspection (HS 17951).

17. LICENSED CONTRACTOR'S DECLARATION

I hereby affirm under penalty of perjury that I am licensed under the provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect. The following applies to B contractors only: I understand the limitations of Section 7057 of the Business and Professional Code related to my ability to take prime contracts or subcontracts involving specialty trades.

License Class: B License No.: 999877 Contractor: C C & E COMPANIES**18. WORKERS' COMPENSATION DECLARATION**

I hereby affirm, under penalty of perjury, one of the following declarations:

☐ I have and will maintain a certificate of consent to self insure for workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

☒ I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier: STATE COMP. INS. FUND Policy Number: 9147122

☐ I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

19. ASBESTOS REMOVAL DECLARATION / LEAD HAZARD WARNING

I certify that notification of asbestos removal is either not applicable or has been submitted to the AQMD or EPA as per section 19827.5 of the Health and Safety Code. Information is available at (909) 396-2336 and the notification form at www.aqmd.gov. Lead safe construction practices are required when doing repairs that disturb paint in pre-1978 buildings due to the presence of lead per section 6716 and 6717 of the Labor Code. Information is available at Health Services for LA County at (800) 524-5323 or the State of California at (800) 597-5323 or www.dhs.ca.gov/childlead.

20. CONSTRUCTION LENDING AGENCY DECLARATION

I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civil Code).

Lender's Name (If Any): _____ Lender's Address : _____

21. FINAL DECLARATION

I certify that I have read this application **INCLUDING THE ABOVE DECLARATIONS** and state that the above information **INCLUDING THE ABOVE DECLARATIONS** is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this city to enter upon the above-mentioned property for inspection purposes. I realize that this permit is an application for inspection and that it does not approve or authorize the work specified herein, and it does not authorize or permit any violation or failure to comply with any applicable law. Furthermore, neither the City of Los Angeles nor any board, department officer, or employee thereof, make any warranty, nor shall be responsible for the performance or results of any work described herein, nor the condition of the property nor the soil upon which such work is performed. I further affirm under penalty of perjury, that the proposed work will not destroy or unreasonably interfere with any access or utility easement belonging to others and located on my property, but in the event such work does destroy or unreasonably interfere with such easement, a substitute easement(s) satisfactory to the holder(s) of the easement will be provided (Sec. 91.0106.4.3.4 LAMC).

By signing below, I certify that:

- (1) I accept all the declarations above namely the Licensed Contractor's Declaration, Workers' Compensation Declaration, Asbestos Removal Declaration / Lead Hazard Warning, Construction Lending Agency Declaration, and Final Declaration; and
- (2) This permit is being obtained with the consent of the legal owner of the property.

Print Name: JOON LEESign: Date: 08/14/2019☐ Contractor☒ Authorized Agent

Sign
Onsite
Plan Check

City of Los Angeles - Department of Building and Safety

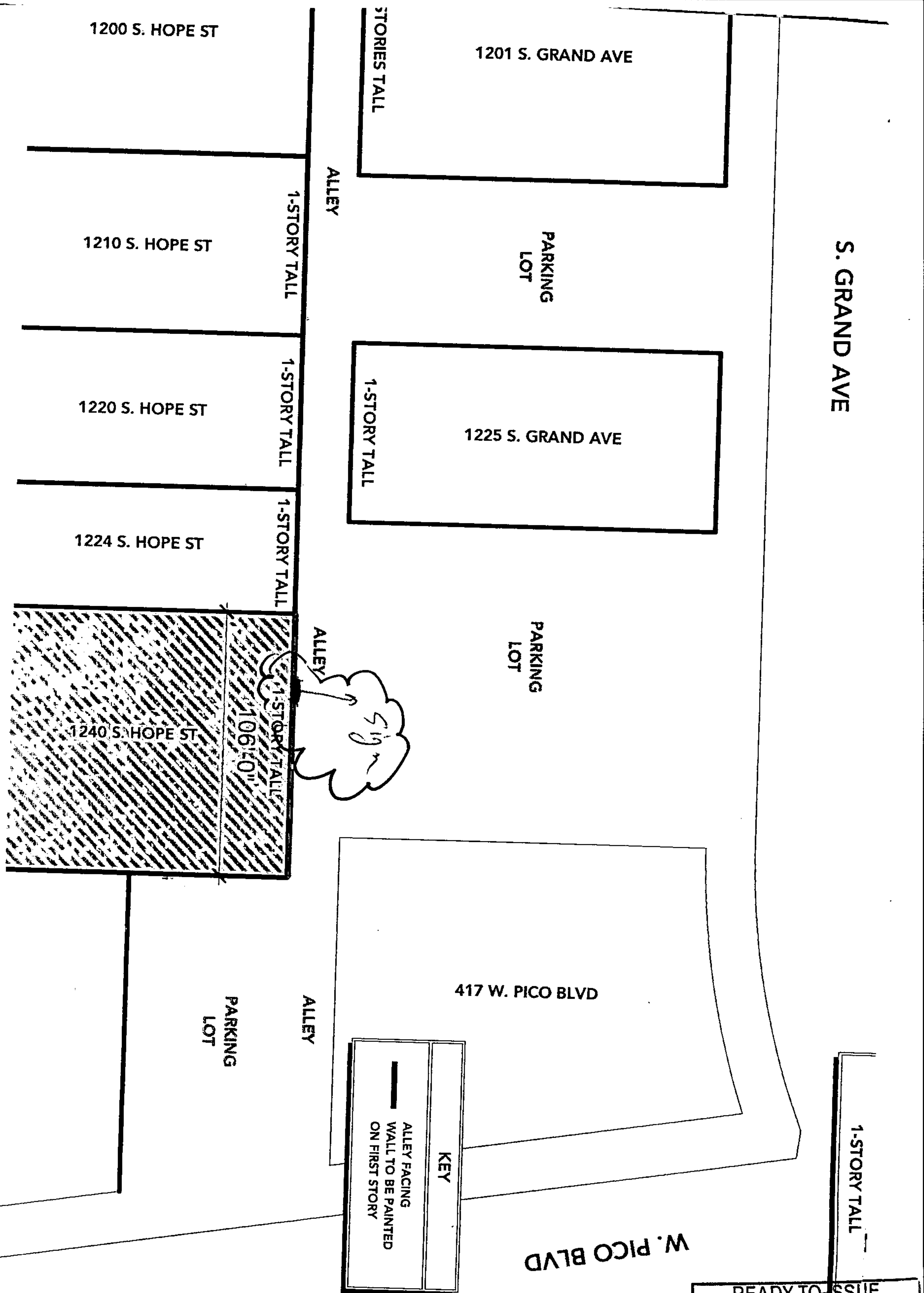
Plan Check #: B19LA16664
Initiating Office: METRO
Printed on: 08/13/19 08:30:24

PLOT PLAN ATTACHMENT

1060910201984071

(DO NOT DRAW, WRITE, OR PASTE ATTACHMENTS OUTSIDE BORDER)

site plan



APPENDIX 7. ADDITIONAL, CONTEMPORARY PHOTOS



Figure 34. Dennis Hill. Morrison Hotel exterior. 2020.

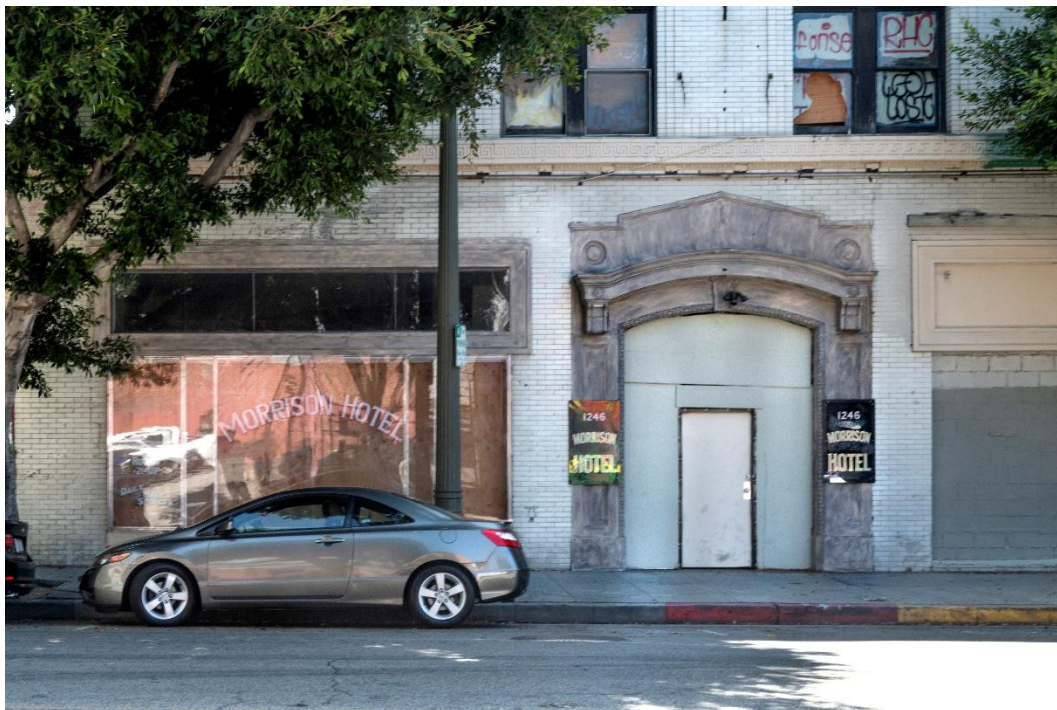


Figure 35. Dennis Hill. Morrison Hotel, entrance on primary (Hope St.) elevation. 2020.



Figure 36. User “jason_matarazza” on Instagram. Secondary (Pico Blvd.) façade. 2017.

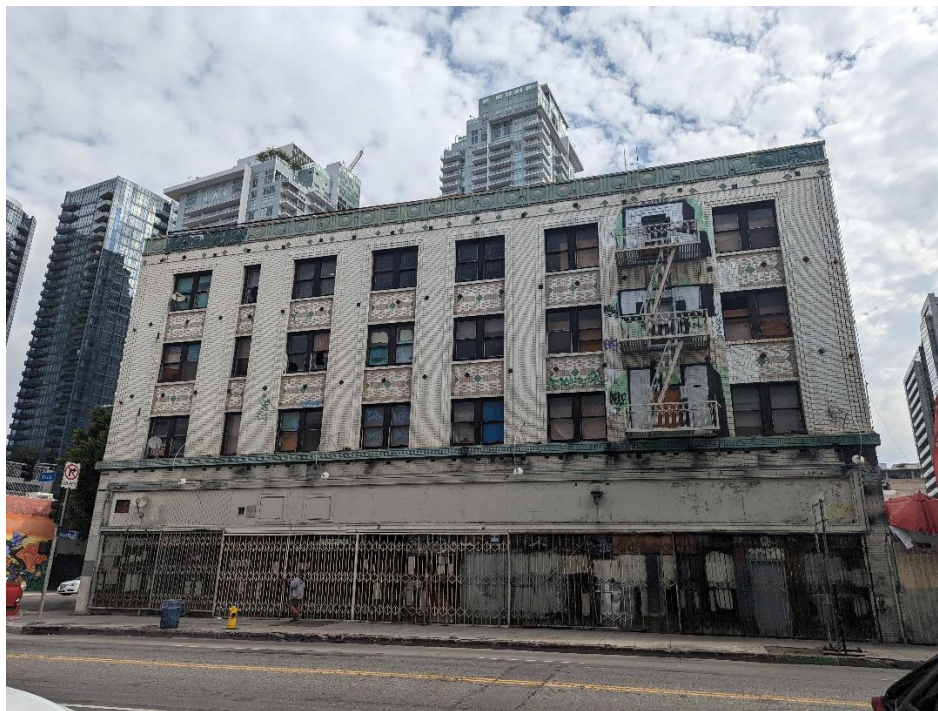


Figure 37. Kim Cooper and Richard Schave. Secondary façade. 2022.



Figure 38. Kim Cooper and Richard Schave. Primary façade. 2022.



Figure 39. Kim Cooper and Richard Schave. Primary façade. 2022.



Figure 40. Kim Cooper and Richard Schave. Primary façade. 2022.



Figure 41. Source unknown. Entrance with tile-clad vestibule. Around the time of the “Day of the Doors” event, 2020.



Figure 42. Kim Cooper and Richard Schave. Primary façade. 2022.



Figure 43. Kim Cooper and Richard Schave. Primary façade. 2022.



Figure 44. Dennis Hill. Morrison Hotel lobby. 2020.



Figure 45. Strategic Actions for a Just Economy (SAJE). Detail of fire escape viewed from inside. 2004.



Figure 46. Kim Cooper and Richard Schave. Secondary façade. 2022.



Figure 47. Kim Cooper and Richard Schave. Secondary façade. 2022.



Figure 48. Kim Cooper and Richard Schave. Corner of primary façade. 2022.



Figure 49. Kim Cooper and Richard Schave. Morrison Hotel exterior. 2022.

APPENDIX 8. HISTORICAL PHOTOS



Figure 50. The Morrison Hotel shortly after its completion. *Los Angeles Times*, 1 November 1914.



Figure 51. Dick Whittington Studio. Drug store in the Morrison Hotel, corner of W. Pico Blvd & S. Hope St. 1926. University of Southern California Digital Library, “Dick” Whittington Photography Collection, 1924–1987, Los Angeles, CA.

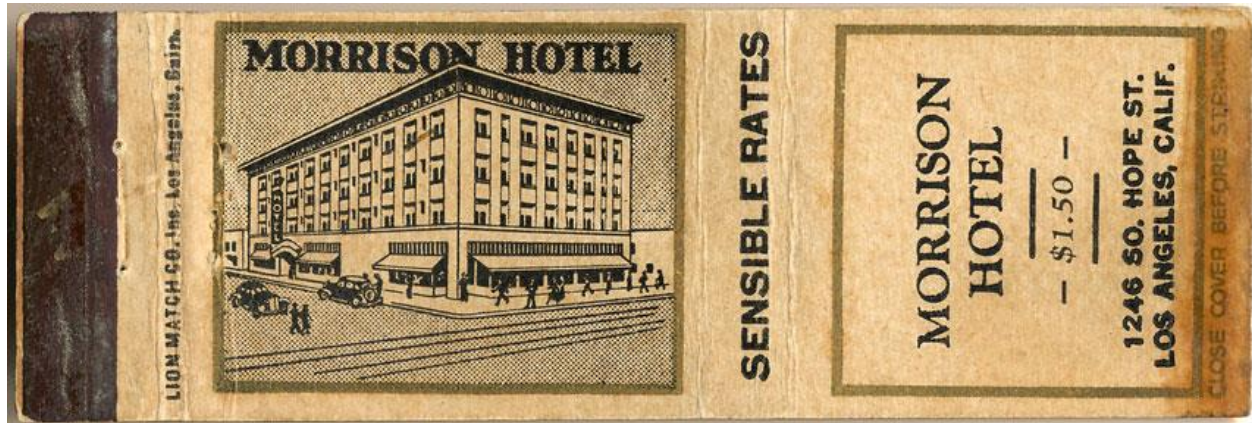


Figure 52. Morrison Hotel matchbook. Year unknown. SkyscraperPage Forum.

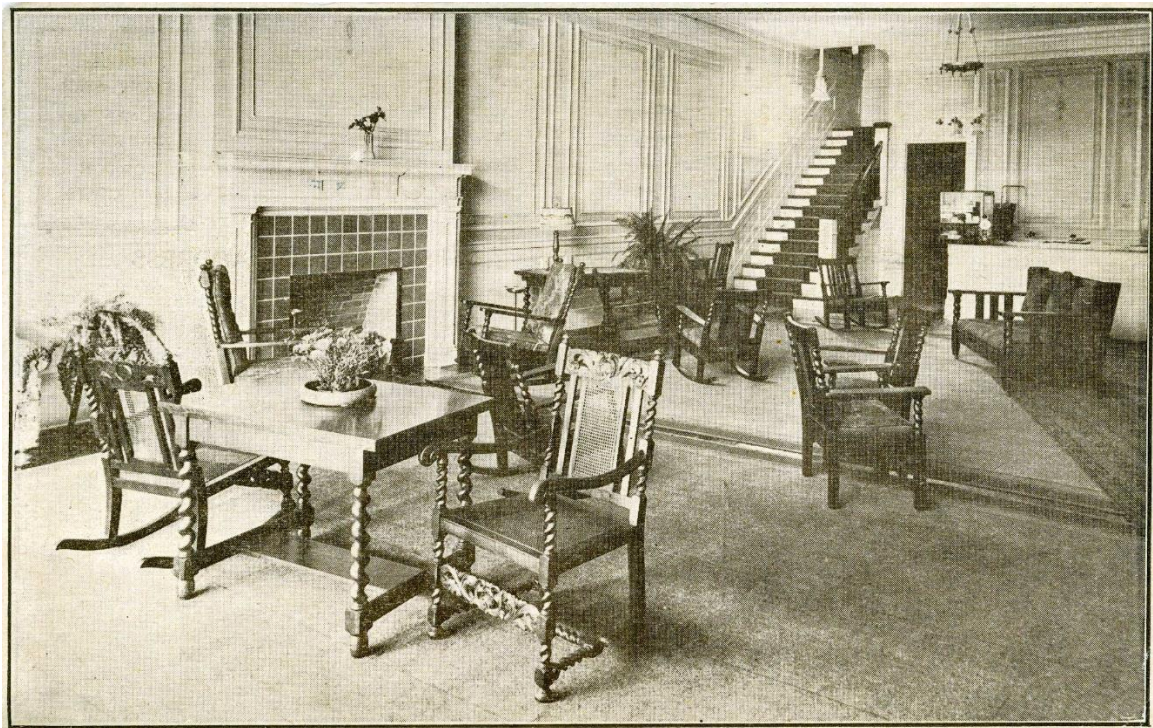


Figure 53. Morrison Hotel lobby. Ca. 1918. Courtesy of Nathan Marsak.



Figure 54. Postcard depicting Morrison Hotel lobby. Ca. 1935. Courtesy of Nathan Marsak.



Figure 55. Aerial photograph, east and north elevations. 1929. UCLA, Benjamin and Gladys Thomas Air Photos Archives.



Figure 56. J. Mapes. North and west elevations. Year unknown.



Figure 57. Richard R. Andrews. Eastband LAMTA 3146 streetcar at Pico Blvd & Grand Ave, with the Morrison and the Ponet Square Hotel in the background. 1963. Pacific Electric Railway Historical Society, Robert Gaddie Collection.



Figure 58. Primary elevation. Year unknown. Courtesy of “mothvintagenz” on Instagram.

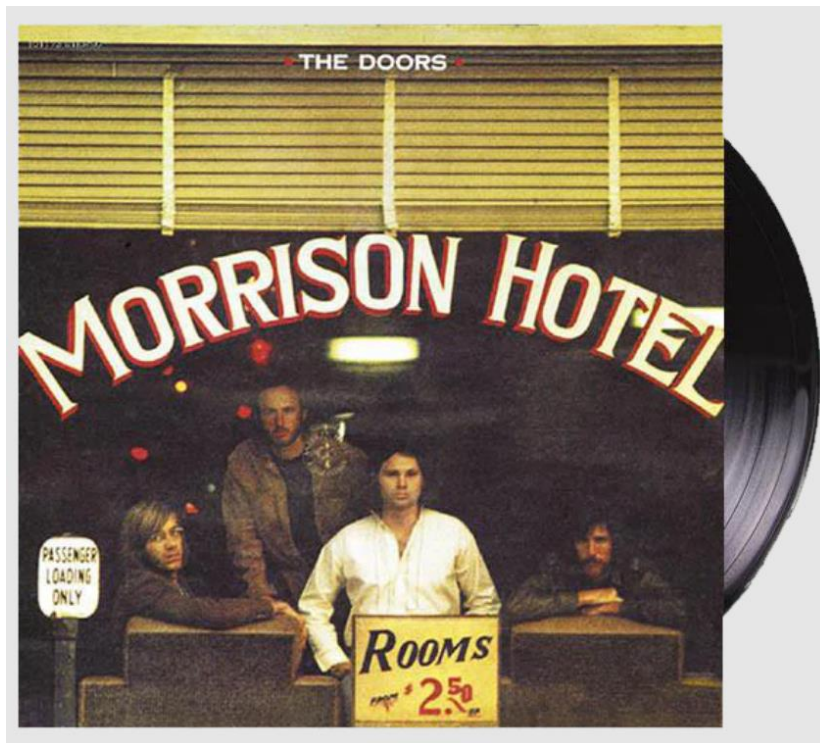


Figure 59. Henry Diltz. Album cover: The Doors, *Morrison Hotel*. 1970.

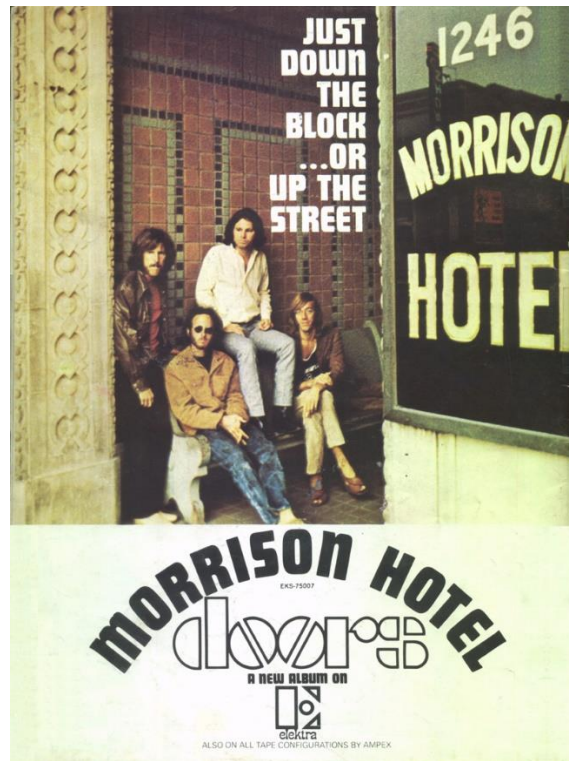


Figure 60. Henry Diltz. Promotional poster: The Doors, *Morrison Hotel*. 1970.



Figure 61. Henry Diltz. 1969.



Figure 62. Henry Diltz. 1969.



Figure 63. Henry Diltz. 1969.



Figure 64. Henry Diltz. 1969.



Figure 65. Henry Diltz. 1969.



Figure 66. Ida Miller. Blade sign on the corner of Hope St. & Pico Blvd. June 1991.



Figure 67. Ida Miller. Blade sign above entrance on Hope St. elevation. December 1991.



Figure 68. Blade sign. Courtesy of user “luxoperon” on Instagram.



Figure 69. Ida Miller. Corner of Hope St. & Pico Blvd. March 2006.

GEO. A. EASTMAN
PROPRIETOR

PEM

Morrison Hotel
PICO AND HOPE STREETS
Los Angeles, Cal.

December 12th 1915.
(Sunday)

FROM THE CHAPLIN ARCHIVES, PROPERTY OF BOY EXPORT

My dear Mr. Chaplin.

No doubt you are
fretted with letters asking for something, and it
may be a relief to receive one which is merely
passive for a change. I am an English
Musician, Dramatist and Producer (chiefly of
Shakespeare and Greek Plays); most of my work
in England was done at Cambridge University.
Yes, high brow, and I don't pretend to be or like
anything else! I abhor movie-making
and never go inside one of their theatres except

Figure 70. Letter from Reginald Pole to Charlie Chaplin, written on Morrison Hotel stationery, front page. 1915. Charlie Chaplin Archive.

to see you, whom I never miss unless I can
not help it, in spite of the awful rubbish you
are often compelled to do. You're a great actor,
Sir, I'm not sure that you are not the most
subtle English speaking actor living, and I am
waiting for the time when you will act great
parts on a real stage in real plays. Quite
right; go ahead, make your money first, I
don't blame you; but don't forget the really
big work some of us are expecting of you
before long. I am expecting to produce some
Shakespeare at the Mason Opera House in the
early Spring. Perhaps you will do me the
honour of attending and criticizing. It won't be
too high-brow for real life! Very truly yours,
Reginald Pole.

Figure 71. Letter from Reginald Pole to Charlie Chaplin, written on Morrison Hotel stationery, back page. 1915. Charlie Chaplin Archive.



City of Los Angeles Department of City Planning

5/1/2022 PARCEL PROFILE REPORT

PROPERTY ADDRESSES

1246 S HOPE ST
1248 S HOPE ST
435 W PICO BLVD
433 W PICO BLVD

ZIP CODES

90015

RECENT ACTIVITY

None

CASE NUMBERS

CPC-2018-6005-CA
CPC-2017-432-CPU
CPC-2017-2107-MS
CPC-2013-3169
CPC-2010-213-CA
CPC-2008-4502-GPA
CPC-2005-8250-ICO
CPC-2005-361-CA
CPC-2005-1124-CA
CPC-2005-1122-CA
CPC-2002-1128-CA
CPC-19XX-17168
CPC-1994-225-CPU
CPC-1986-606-GPC
ORD-177557
ORD-175038
ORD-164307-SA3030
ORD-137036
ORD-135901
ORD-129944
ORD-128690
ZAI-1981-59
ZA-2018-2293-MCUP-CUX-ZV-DD-SPR
ZA-1981-59
ZA-1965-17939
VTT-82183
ENV-2019-4121-ND
ENV-2018-6006-CE
ENV-2018-2294-EIR
ENV-2017-433-EIR
ENV-2017-2108-CE
ENV-2013-3392-CE
ENV-2013-3170-CE
ENV-2010-214-ND

Address/Legal Information

PIN Number 126A207 140
Lot/Parcel Area (Calculated) 14,120.5 (sq ft)
Thomas Brothers Grid PAGE 634 - GRID D5
Assessor Parcel No. (APN) 5139022006
Tract TR 17683
Map Reference M B 429-47/48
Block None
Lot 6
Arb (Lot Cut Reference) None
Map Sheet 126A207

Jurisdictional Information

Community Plan Area Central City
Area Planning Commission Central
Neighborhood Council Downtown Los Angeles
Council District CD 14 - Kevin de León
Census Tract # 2079.02
LADBS District Office Los Angeles Metro

Permitting and Zoning Compliance Information

Administrative Review None

Planning and Zoning Information

Special Notes None
Zoning [Q]R5-4D-O
Zoning Information (ZI)
ZI-2374 State Enterprise Zone: Los Angeles
ZI-2488 Redevelopment Project Area: City Center
ZI-2353 Residential Hotel Unit Conversion Demolition Ordinance
ZI-2487 City Center/Central Ind. Dev. Guidelines & Controls for Residential Hotels
ZI-2452 Transit Priority Area in the City of Los Angeles
ZI-2385 Greater Downtown Housing Incentive Area
General Plan Land Use High Density Residential
General Plan Note(s) Yes
Hillside Area (Zoning Code) No
Specific Plan Area None
Subarea None
Special Land Use / Zoning None
Historic Preservation Review No
Historic Preservation Overlay Zone None
Other Historic Designations None
Other Historic Survey Information None
Mills Act Contract None
CDO: Community Design Overlay None
CPIO: Community Plan Imp. Overlay None
Subarea None
CUGU: Clean Up-Green Up None
HCR: Hillside Construction Regulation No
NSO: Neighborhood Stabilization Overlay No
POD: Pedestrian Oriented Districts None

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ENV-2008-4505-ND	RFA: Residential Floor Area District	None
ENV-2005-362-CE	RIO: River Implementation Overlay	No
ENV-2005-1125-CE	SN: Sign District	No
ENV-2005-1123-CE	Streetscape	No
ENV-2002-1131-ND	Adaptive Reuse Incentive Area	Adaptive Reuse Incentive Area
ENV-2002-1130-ND	Affordable Housing Linkage Fee	
ENV-1998-107-MND	Residential Market Area	Medium-High
	Non-Residential Market Area	High
	Transit Oriented Communities (TOC)	Tier 4
	RPA: Redevelopment Project Area	City Center
	Central City Parking	Yes
	Downtown Parking	Yes
	Building Line	None
	500 Ft School Zone	No
	500 Ft Park Zone	No
Assessor Information		
	Assessor Parcel No. (APN)	5139022006
	APN Area (Co. Public Works)*	0.330 (ac)
	Use Code	1810 - Commercial - Hotel and Motel - Hotel - 50 Rooms and Over - One Story
	Assessed Land Val.	\$9,883,800
	Assessed Improvement Val.	\$2,680,504
	Last Owner Change	03/22/2018
	Last Sale Amount	\$18,000,180
	Tax Rate Area	13264
	Deed Ref No. (City Clerk)	746169
		714746
		440089-90
		409932
		251047
		1966768
		182259
		1348597
		1213139
	Building 1	
	Year Built	1914
	Building Class	CX
	Number of Units	0
	Number of Bedrooms	0
	Number of Bathrooms	0
	Building Square Footage	49,668.0 (sq ft)
	Building 2	No data for building 2
	Building 3	No data for building 3
	Building 4	No data for building 4
	Building 5	No data for building 5
	Rent Stabilization Ordinance (RSO)	Yes [APN: 5139022006]
Additional Information		
	Airport Hazard	None
	Coastal Zone	None
	Farmland	Area Not Mapped
	Urban Agriculture Incentive Zone	YES
	Very High Fire Hazard Severity Zone	No
	Fire District No. 1	Yes
	Flood Zone	Outside Flood Zone
	Watercourse	No

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Hazardous Waste / Border Zone Properties	No
Methane Hazard Site	Methane Zone
High Wind Velocity Areas	No
Special Grading Area (BOE Basic Grid Map A-13372)	No
Wells	None

Seismic Hazards

Active Fault Near-Source Zone	
Nearest Fault (Distance in km)	Within Fault Zone
Nearest Fault (Name)	Puente Hills Blind Thrust
Region	Los Angeles Blind Thrusts
Fault Type	B
Slip Rate (mm/year)	0.70000000
Slip Geometry	Reverse
Slip Type	Moderately / Poorly Constrained
Down Dip Width (km)	19.00000000
Rupture Top	5.00000000
Rupture Bottom	13.00000000
Dip Angle (degrees)	25.00000000
Maximum Magnitude	7.10000000
Alquist-Priolo Fault Zone	No
Landslide	No
Liquefaction	No
Preliminary Fault Rupture Study Area	No
Tsunami Inundation Zone	No

Economic Development Areas

Business Improvement District	GREATER SOUTH PARK
Hubzone	None
Opportunity Zone	No
Promise Zone	South Los Angeles Transit Empowerment Zone
State Enterprise Zone	LOS ANGELES STATE ENTERPRISE ZONE

Housing

Direct all Inquiries to	Los Angeles Housing Department
Telephone	(866) 557-7368
Website	https://housing.lacity.org
Rent Stabilization Ordinance (RSO)	Yes [APN: 5139022006]
Ellis Act Property	No
AB 1482: Tenant Protection Act	No

Public Safety

Police Information	
Bureau	Central
Division / Station	Central
Reporting District	182
Fire Information	
Bureau	Central
Battalion	1
District / Fire Station	10
Red Flag Restricted Parking	No

CASE SUMMARIES

Note: Information for case summaries is retrieved from the Planning Department's Plan Case Tracking System (PCTS) database.

Case Number:	CPC-2018-6005-CA
Required Action(s):	CA-CODE AMENDMENT
Project Descriptions(s):	RESOLUTION TO TRANSFER THE LAND USE AUTHORITY FROM THE COMMUNITY REDEVELOPMENT AGENCY OF THE CITY OF LOS ANGELES, DESIGNATED LOCAL AUTHORITY (CRA/LA-DLA) TO THE CITY OF LOS ANGELES AND CODE AMENDMENT TO ESTABLISH PROCEDURES FOR THE IMPLEMENTATION OF UNEXPIRED REDEVELOPMENT PLANS AND UPDATE OTHER RELEVANT CODE PROVISIONS IN THE LOS ANGELES MUNICIPAL CODE TO FACILITATE THE TRANSFER OF LAND USE AUTHORITY FROM THE CRA/LA-DLA TO THE CITY OF LOS ANGELES.
Case Number:	CPC-2017-432-CPU
Required Action(s):	CPU-COMMUNITY PLAN UPDATE
Project Descriptions(s):	COMMUNITY PLAN UPDATE
Case Number:	CPC-2017-2107-MS
Required Action(s):	MS-MISCELLANEOUS (POLICIES, GUIDELINES, RESOLUTIONS, ETC.)
Project Descriptions(s):	DOWNTOWN DESIGN GUIDE UPDATE
Case Number:	CPC-2013-3169
Required Action(s):	Data Not Available
Project Descriptions(s):	THE PROPOSED PROJECT CONSISTS OF: (1) A TECHNICAL MODIFICATION TO SECTIONS 12.03, 12.04, 12.21, 12.22, 12.24, 13.11, 14.5, 16.05 AND 16.11 OF THE LOS ANGELES MUNICIPAL CODE (LAMC) TO REMOVE OR AMEND REFERENCES TO THE FORMER COMMUNITY REDEVELOPMENT AGENCY (CRA); (2) TECHNICAL CORRECTIONS TO CLARIFY EXISTING REGULATIONS IN THE LAMC THAT ARE IMPACTED BY THE TRANSFER OF LAND USE AUTHORITY; AND (3) A RESOLUTION REQUESTING THAT ALL LAND USE RELATED PLANS AND FUNCTIONS OF THE CRA/LA BE TRANSFERRED TO THE DEPARTMENT OF CITY PLANNING
Case Number:	CPC-2010-213-CA
Required Action(s):	CA-CODE AMENDMENT
Project Descriptions(s):	AN AMENDMENT TO ARTICLE 4.5 AND SECTION 16.05 OF ARTICLE 6.1 OF THE LOS ANGELES MUNICIPAL CODE (LAMC), AND RELEVANT SECTIONS OF THE LOS ANGELES ADMINISTRATIVE CODE, TO MODIFY THE AUTHORITY AND PROCEDURES FOR EFFECTUATING A TRANSFER OF FLOOR AREA RIGHTS (TFAR) AND TO MAKE OTHER TECHNICAL CHANGES TO REFLECT THE EXPIRATION OF THE AMENDED CENTRAL BUSINESS DISTRICT REDEVELOPMENT PROJECT AREA.
Case Number:	CPC-2008-4502-GPA
Required Action(s):	GPA-GENERAL PLAN AMENDMENT
Project Descriptions(s):	CENTRAL CITY PLAN AMENDMENT FOR URBAN DESIGN STANDARDS AND GUIDELINES AND MODIFIED STREETS, CODE CLARIFICATIONS
Case Number:	CPC-2005-8250-ICO
Required Action(s):	ICO-INTERIM CONTROL ORDINANCE
Project Descriptions(s):	AN INTERIM CONTROL ORDINANCE TEMPORARILY SUSPENDING THE CONVERSION, DEMOLITION, OR CHANGE OF USE OF RESIDENTIAL HOTELS CITYWIDE.
Case Number:	CPC-2005-361-CA
Required Action(s):	CA-CODE AMENDMENT
Project Descriptions(s):	CODE AMENDMENT TO UPDATE RESIDENTIAL STANDARDS AND INCENTIVIZE HOUSING IN THE CENTRAL CITY AREA.
Case Number:	CPC-2005-1124-CA
Required Action(s):	CA-CODE AMENDMENT
Project Descriptions(s):	TO REQUIRE PROJECTS IN THE CENTRAL CITY COMMUNITY PLAN TO COMPLY WITH DESIGN AND STREETSCAPE GUIDELINES
Case Number:	CPC-2005-1122-CA
Required Action(s):	CA-CODE AMENDMENT
Project Descriptions(s):	INCENTIVES FOR THE PRODUCTION OF AFFORDABLE AND WORKFORCE HOUSING IN THE CENTRAL CITY PLAN AREA
Case Number:	CPC-2002-1128-CA
Required Action(s):	CA-CODE AMENDMENT
Project Descriptions(s):	
Case Number:	CPC-19XX-17168
Required Action(s):	Data Not Available
Project Descriptions(s):	
Case Number:	CPC-1994-225-CPU
Required Action(s):	CPU-COMMUNITY PLAN UPDATE
Project Descriptions(s):	CENTRAL CITY COMMUNITY PLAN UPDATE (CPU) (DAN O'DONNELL)
Case Number:	CPC-1986-606-GPC
Required Action(s):	GPC-GENERAL PLAN/ZONING CONSISTENCY (AB283)

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Project Descriptions(s):	GENERAL PLAN/ZONE CONCSISTENCY - CENTRAL CITY AREA - COMMUNITYWIDE ZONE CHANGES AND COMMUNITY PLAN CHNAGES TO BRING THE ZONING INTO CONSISTENCY WITH THE COMMUNITY PLAN. INCLUDING CHANGESOF HEIGHT AS NEEDED
Case Number:	ZA-2018-2293-MCUP-CUX-ZV-DD-SPR
Required Action(s):	MCUP-MASTER CONDITIONAL USE PERMIT CUX-ADULT ENTERTAINMENTS ZV-ZONE VARIANCE DD-DIRECTOR'S DETERMINATION SPR-SITE PLAN REVIEW
Project Descriptions(s):	MASTER CONDITIONAL USE PERMIT PER LAMC SECTION 12.24.W 1 TO ALLOW ON-SITE SALE AND CONSUMPTION OF ALCOHOL FOR 3 OR MORE ESTABLISHMENTS, INCLUDING USES WITHIN THE HOTEL FACILITY; CONDITIONAL USE PERMIT - CUX PER SECTION 12.24.W 18 TO PERMIT LIVE ENTERTAINMENT WITH PATRON DANCING; DIRECTOR'S DETERMINATION PER SECTION 12.24.Y FOR A REDUCED ON-SITE PARKING UP TO 10 PERCENT; SITE PLAN REVIEW PER SECTION 16.05 FOR A PROJECT RESULTING IN AN INCREASE OF 50 OR MORE DWELLING UNITS/GUEST ROOMS; VESTING TENTATIVE TRACT MAP PER SECTION 17.15 TO MERGE AND RESUBDIVIDE EXISTING PARCELS INTO 2 GROUND LOTS AND 10 AIRSPACE LOTS.
Case Number:	ZA-1981-59
Required Action(s):	Data Not Available
Project Descriptions(s):	
Case Number:	ZA-1965-17939
Required Action(s):	Data Not Available
Project Descriptions(s):	
Case Number:	VTT-82183
Required Action(s):	Data Not Available
Project Descriptions(s):	MASTER CONDITIONAL USE PERMIT PER LAMC SECTION 12.24.W 1 TO ALLOW ON-SITE SALE AND CONSUMPTION OF ALCOHOL FOR 3 OR MORE ESTABLISHMENTS, INCLUDING USES WITHIN THE HOTEL FACILITY; CONDITIONAL USE PERMIT - CUX PER SECTION 12.24.W 18 TO PERMIT LIVE ENTERTAINMENT WITH PATRON DANCING; DIRECTOR'S DETERMINATION PER SECTION 12.24.Y FOR A REDUCED ON-SITE PARKING UP TO 10 PERCENT; SITE PLAN REVIEW PER SECTION 16.05 FOR A PROJECT RESULTING IN AN INCREASE OF 50 OR MORE DWELLING UNITS/GUEST ROOMS; VESTING TENTATIVE TRACT MAP PER SECTION 17.15 TO MERGE AND RESUBDIVIDE EXISTING PARCELS INTO 2 GROUND LOTS AND 10 AIRSPACE LOTS.
Case Number:	ENV-2019-4121-ND
Required Action(s):	ND-NEGATIVE DECLARATION
Project Descriptions(s):	RESOLUTION TO TRANSFER THE LAND USE AUTHORITY FROM THE COMMUNITY REDEVELOPMENT AGENCY OF THE CITY OF LOS ANGELES, DESIGNATED LOCAL AUTHORITY (CRA/LA-DLA) TO THE CITY OF LOS ANGELES AND CODE AMENDMENT TO ESTABLISH PROCEDURES FOR THE IMPLEMENTATION OF UNEXPIRED REDEVELOPMENT PLANS AND UPDATE OTHER RELEVANT CODE PROVISIONS IN THE LOS ANGELES MUNICIPAL CODE TO FACILITATE THE TRANSFER OF LAND USE AUTHORITY FROM THE CRA/LA-DLA TO THE CITY OF LOS ANGELES.
Case Number:	ENV-2018-6006-CE
Required Action(s):	CE-CATEGORICAL EXEMPTION
Project Descriptions(s):	RESOLUTION TO TRANSFER THE LAND USE AUTHORITY FROM THE COMMUNITY REDEVELOPMENT AGENCY OF THE CITY OF LOS ANGELES, DESIGNATED LOCAL AUTHORITY (CRA/LA-DLA) TO THE CITY OF LOS ANGELES AND CODE AMENDMENT TO ESTABLISH PROCEDURES FOR THE IMPLEMENTATION OF UNEXPIRED REDEVELOPMENT PLANS AND UPDATE OTHER RELEVANT CODE PROVISIONS IN THE LOS ANGELES MUNICIPAL CODE TO FACILITATE THE TRANSFER OF LAND USE AUTHORITY FROM THE CRA/LA-DLA TO THE CITY OF LOS ANGELES.
Case Number:	ENV-2018-2294-EIR
Required Action(s):	EIR-ENVIRONMENTAL IMPACT REPORT
Project Descriptions(s):	MASTER CONDITIONAL USE PERMIT PER LAMC SECTION 12.24.W 1 TO ALLOW ON-SITE SALE AND CONSUMPTION OF ALCOHOL FOR 3 OR MORE ESTABLISHMENTS, INCLUDING USES WITHIN THE HOTEL FACILITY; CONDITIONAL USE PERMIT - CUX PER SECTION 12.24.W 18 TO PERMIT LIVE ENTERTAINMENT WITH PATRON DANCING; DIRECTOR'S DETERMINATION PER SECTION 12.24.Y FOR A REDUCED ON-SITE PARKING UP TO 10 PERCENT; SITE PLAN REVIEW PER SECTION 16.05 FOR A PROJECT RESULTING IN AN INCREASE OF 50 OR MORE DWELLING UNITS/GUEST ROOMS; VESTING TENTATIVE TRACT MAP PER SECTION 17.15 TO MERGE AND RESUBDIVIDE EXISTING PARCELS INTO 2 GROUND LOTS AND 10 AIRSPACE LOTS.
Case Number:	ENV-2017-433-EIR
Required Action(s):	EIR-ENVIRONMENTAL IMPACT REPORT
Project Descriptions(s):	COMMUNITY PLAN UPDATE
Case Number:	ENV-2017-2108-CE
Required Action(s):	CE-CATEGORICAL EXEMPTION
Project Descriptions(s):	DOWNTOWN DESIGN GUIDE UPDATE
Case Number:	ENV-2013-3392-CE
Required Action(s):	CE-CATEGORICAL EXEMPTION

Project Descriptions(s):	THE PROPOSED ORDINANCE MODIFIES SECTION 22.119 OF THE LOS ANGELES ADMINISTRATIVE CODE TO ALLOW ORIGINAL ART MURALS ON LOTS DEVELOPED WITH ONLY ONE SINGLE-FAMILY RESIDENTIAL STRUCTURE AND THAT ARE LOCATED WITHIN COUNCIL DISTRICTS 1, 9, AND 14.
Case Number:	ENV-2013-3170-CE
Required Action(s):	CE-CATEGORICAL EXEMPTION
Project Descriptions(s):	THE PROPOSED PROJECT CONSISTS OF: (1) A TECHNICAL MODIFICATION TO SECTIONS 12.03, 12.04, 12.21, 12.22, 12.24, 13.11, 14.5, 16.05 AND 16.11 OF THE LOS ANGELES MUNICIPAL CODE (LAMC) TO REMOVE OR AMEND REFERENCES TO THE FORMER COMMUNITY REDEVELOPMENT AGENCY (CRA); (2) TECHNICAL CORRECTIONS TO CLARIFY EXISTING REGULATIONS IN THE LAMC THAT ARE IMPACTED BY THE TRANSFER OF LAND USE AUTHORITY; AND (3) A RESOLUTION REQUESTING THAT ALL LAND USE RELATED PLANS AND FUNCTIONS OF THE CRA/LA BE TRANSFERRED TO THE DEPARTMENT OF CITY PLANNING
Case Number:	ENV-2010-214-ND
Required Action(s):	ND-NEGATIVE DECLARATION
Project Descriptions(s):	AN AMENDMENT TO ARTICLE 4.5 AND SECTION 16.05 OF ARTICLE 6.1 OF THE LOS ANGELES MUNICIPAL CODE (LAMC), AND RELEVANT SECTIONS OF THE LOS ANGELES ADMINISTRATIVE CODE, TO MODIFY THE AUTHORITY AND PROCEDURES FOR EFFECTUATING A TRANSFER OF FLOOR AREA RIGHTS (TFAR) AND TO MAKE OTHER TECHNICAL CHANGES TO REFLECT THE EXPIRATION OF THE AMENDED CENTRAL BUSINESS DISTRICT REDEVELOPMENT PROJECT AREA.
Case Number:	ENV-2008-4505-ND
Required Action(s):	ND-NEGATIVE DECLARATION
Project Descriptions(s):	CENTRAL CITY PLAN AMENDMENT FOR URBAN DESIGN STANDARDS AND GUIDELINES AND MODIFIED STREETS, CODE CLARIFICATIONS
Case Number:	ENV-2005-362-CE
Required Action(s):	CE-CATEGORICAL EXEMPTION
Project Descriptions(s):	CODE AMENDMENT TO UPDATE RESIDENTIAL STANDARDS AND INCENTIVIZE HOUSING IN THE CENTRAL CITY AREA.
Case Number:	ENV-2005-1125-CE
Required Action(s):	CE-CATEGORICAL EXEMPTION
Project Descriptions(s):	TO REQUIRE PROJECTS IN THE CENTRAL CITY COMMUNITY PLAN TO COMPLY WITH DESIGN AND STREETSCAPE GUIDELINES
Case Number:	ENV-2005-1123-CE
Required Action(s):	CE-CATEGORICAL EXEMPTION
Project Descriptions(s):	INCENTIVES FOR HTE PRODUCTION OF AFFORDABLE AND WORKFORCE HOUSING IN THE CENTRAL CITY PLAN AREA
Case Number:	ENV-2002-1131-ND
Required Action(s):	ND-NEGATIVE DECLARATION
Project Descriptions(s):	
Case Number:	ENV-2002-1130-ND
Required Action(s):	ND-NEGATIVE DECLARATION
Project Descriptions(s):	
Case Number:	ENV-1998-107-MND
Required Action(s):	MND-MITIGATED NEGATIVE DECLARATION
Project Descriptions(s):	CENTRAL CITY COMMUNITY PLAN UPDATE (CPU) (DAN O'DONNELL)

DATA NOT AVAILABLE

ORD-177557
 ORD-175038
 ORD-164307-SA3030
 ORD-137036
 ORD-135901
 ORD-129944
 ORD-128690
 ZAI-1981-59



Address: 1246 S HOPE ST

APN: 5139022006

PIN #: 126A207 140

Tract: TR 17683

Block: None

Lot: 6

Arb: None

Zoning: [Q]R5-4D-O

General Plan: High Density Residential



LEGEND

GENERALIZED ZONING

- OS, GW
- A, RA
- RE, RS, R1, RU, RZ, RW1
- R2, RD, RMP, RW2, R3, RAS, R4, R5, PVSP
- CR, C1, C1.5, C2, C4, C5, CW, WC, ADP, LASED, CEC, USC, PPSP, MU, NMU
- CM, MR, CCS, UV, UI, UC, M1, M2, LAX, M3, SL, HJ, HR, NI
- P, PB
- PF

GENERAL PLAN LAND USE

LAND USE

RESIDENTIAL

- Minimum Residential
- Very Low / Very Low I Residential
- Very Low II Residential
- Low / Low I Residential
- Low II Residential
- Low Medium / Low Medium I Residential
- Low Medium II Residential
- Medium Residential
- High Medium Residential
- High Density Residential
- Very High Medium Residential

COMMERCIAL

- Limited Commercial
- Limited Commercial - Mixed Medium Residential
- Highway Oriented Commercial
- Highway Oriented and Limited Commercial
- Highway Oriented Commercial - Mixed Medium Residential
- Neighborhood Office Commercial
- Community Commercial
- Community Commercial - Mixed High Residential
- Regional Center Commercial

FRAMEWORK

COMMERCIAL

- Neighborhood Commercial
- General Commercial
- Community Commercial
- Regional Mixed Commercial

INDUSTRIAL

- Commercial Manufacturing
- Limited Manufacturing
- Light Manufacturing
- Heavy Manufacturing
- Hybrid Industrial

PARKING

- Parking Buffer

PORT OF LOS ANGELES

- General / Bulk Cargo - Non Hazardous (Industrial / Commercial)
- General / Bulk Cargo - Hazard
- Commercial Fishing
- Recreation and Commercial
- Intermodal Container Transfer Facility Site

LOS ANGELES INTERNATIONAL AIRPORT

- Airport Landside / Airport Landside Support
- Airport Airside
- LAX Airport Northside

OPEN SPACE / PUBLIC FACILITIES

- Open Space
- Public / Open Space
- Public / Quasi-Public Open Space
- Other Public Open Space
- Public Facilities

INDUSTRIAL

- Limited Industrial
- Light Industrial

CIRCULATION

STREET

- Arterial Mountain Road
- Collector Scenic Street
- Collector Street
- Collector Street (Hillside)
- Collector Street (Modified)
- Collector Street (Proposed)
- Country Road
- Divided Major Highway II
- Divided Secondary Scenic Highway
- Local Scenic Road
- Local Street
- Major Highway (Modified)
- Major Highway I
- Major Highway II
- Major Highway II (Modified)

- Major Scenic Highway
- Major Scenic Highway (Modified)
- Major Scenic Highway II
- Mountain Collector Street
- Park Road
- Parkway
- Principal Major Highway
- Private Street
- Scenic Divided Major Highway II
- Scenic Park
- Scenic Parkway
- Secondary Highway
- Secondary Highway (Modified)
- Secondary Scenic Highway
- Special Collector Street
- Super Major Highway

FREEWAYS

- Freeway
- Interchange
- On-Ramp / Off- Ramp
- Railroad
- Scenic Freeway Highway




MISC. LINES























- Airport Boundary
- Bus Line
- Coastal Zone Boundary
- Coastline Boundary
- Collector Scenic Street (Proposed)
- Commercial Areas
- Commercial Center
- Community Redevelopment Project Area
- Country Road
- DWP Power Lines
- Desirable Open Space
- Detached Single Family House
- Endangered Ridgeline
- Equestrian and/or Hiking Trail
- Hiking Trail
- Historical Preservation
- Horsekeeping Area
- Local Street
- MSA Desirable Open Space
- Major Scenic Controls
- Multi-Purpose Trail
- Natural Resource Reserve
- Park Road
- Park Road (Proposed)
- Quasi-Public
- Rapid Transit Line
- Residential Planned Development
- Scenic Highway (Obsolete)
- Secondary Scenic Controls
- Secondary Scenic Highway (Proposed)
- Site Boundary
- Southern California Edison Power
- Special Study Area
- Specific Plan Area
- Stagecoach Line
- Wildlife Corridor

POINTS OF INTEREST





 Alternative Youth Hostel (Proposed)	 Horticultural Center	 Public Elementary School
 Animal Shelter	 Hospital	 Public Elementary School (Proposed)
 Area Library	 Hospital (Proposed)	 Public Golf Course
 Area Library (Proposed)	HW House of Worship	 Public Golf Course (Proposed)
 Bridge	e Important Ecological Area	 Public Housing
 Campground	 Important Ecological Area (Proposed)	 Public Housing (Proposed Expansion)
 Campground (Proposed)	 Interpretive Center (Proposed)	 Public Junior High School
 Cemetery	 Junior College	 Public Junior High School (Proposed)
HW Church	 MTA / Metrolink Station	 Public Middle School
 City Hall	 MTA Station	 Public Senior High School
 Community Center	 MTA Stop	 Public Senior High School (Proposed)
 Community Library	MWD MWD Headquarters	 Pumping Station
 Community Library (Proposed Expansion)	 Maintenance Yard	 Pumping Station (Proposed)
 Community Library (Proposed)	 Municipal Office Building	 Refuse Collection Center
 Community Park	P Municipal Parking lot	 Regional Library
 Community Park (Proposed Expansion)	 Neighborhood Park	 Regional Library (Proposed Expansion)
 Community Park (Proposed)	 Neighborhood Park (Proposed Expansion)	 Regional Library (Proposed)
 Community Transit Center	 Neighborhood Park (Proposed)	 Regional Park
 Convalescent Hospital	 Oil Collection Center	 Regional Park (Proposed)
 Correctional Facility	 Parking Enforcement	RPD Residential Plan Development
 Cultural / Historic Site (Proposed)	 Police Headquarters	 Scenic View Site
 Cultural / Historical Site	 Police Station	 Scenic View Site (Proposed)
 Cultural Arts Center	 Police Station (Proposed Expansion)	 School District Headquarters
DMV DMV Office	 Police Station (Proposed)	 School Unspecified Loc/Type (Proposed)
DWP DWP	 Police Training site	 Skill Center
 DWP Pumping Station	PO Post Office	 Social Services
 Equestrian Center	 Power Distribution Station	 Special Feature
 Fire Department Headquarters	 Power Distribution Station (Proposed)	 Special Recreation (a)
 Fire Station	 Power Receiving Station	 Special School Facility
 Fire Station (Proposed Expansion)	 Power Receiving Station (Proposed)	 Special School Facility (Proposed)
 Fire Station (Proposed)	C Private College	 Steam Plant
 Fire Supply & Maintenance	E Private Elementary School	 Surface Mining
 Fire Training Site	 Private Golf Course	 Trail & Assembly Area
 Fireboat Station	 Private Golf Course (Proposed)	 Trail & Assembly Area (Proposed)
 Health Center / Medical Facility	JH Private Junior High School	UTL Utility Yard
 Helistop	PS Private Pre-School	 Water Tank Reservoir
 Historic Monument	 Private Recreation & Cultural Facility	 Wildlife Migration Corridor
 Historical / Cultural Monument	SH Private Senior High School	 Wildlife Preserve Gate
 Horsekeeping Area	SF Private Special School	
 Horsekeeping Area (Proposed)	 Public Elementary (Proposed Expansion)	

SCHOOLS/PARKS WITH 500 FT. BUFFER

-  Existing School/Park Site
-  Planned School/Park Site
-  Inside 500 Ft. Buffer

-  Aquatic Facilities
-  Other Facilities
-  Opportunity School
-  Beaches
-  Park / Recreation Centers
-  Charter School
-  Child Care Centers
-  Parks
-  Elementary School
-  Dog Parks
-  Performing / Visual Arts Centers
-  Span School
-  Golf Course
-  Recreation Centers
-  Special Education School
-  Historic Sites
-  Senior Citizen Centers
-  High School
-  Horticulture/Gardens
-  Middle School
-  Skate Parks
-  Early Education Center

COASTAL ZONE



-  Coastal Commission Permit Area
-  Dual Permit Jurisdiction Area
-  Single Permit Jurisdiction Area
-  Not in Coastal Zone

TRANSIT ORIENTED COMMUNITIES (TOC)

-  Tier 1
-  Tier 3
-  Tier 2
-  Tier 4

Note: TOC Tier designation and map layers are for reference purposes only. Eligible projects shall demonstrate compliance with Tier eligibility standards prior to the issuance of any permits or approvals. As transit service changes, eligible TOC Incentive Areas will be updated.

WAIVER OF DEDICATION OR IMPROVEMENT

-  Public Work Approval (PWA)
-  Waiver of Dedication or Improvement (WDI)

OTHER SYMBOLS

-  Lot Line
-  Tract Line
-  Lot Cut
-  Easement
-  Zone Boundary
-  Building Line
-  Lot Split
-  Community Driveway
-  Building Outlines 2014
-  Building Outlines 2008
-  Airport Hazard Zone
-  Census Tract
-  Coastal Zone
-  Council District
-  LADBS District Office
-  Downtown Parking
-  Fault Zone
-  Fire District No. 1
-  Tract Map
-  Parcel Map
-  Flood Zone
-  Hazardous Waste
-  High Wind Zone
-  Hillside Grading
-  Historic Preservation Overlay Zone
-  Specific Plan Area
-  Very High Fire Hazard Severity Zone
-  Wells



Primary Address: 1225 S HOPE ST
 Other Address: 1223 S HOPE ST
 Name:
 Year built: 1938
 Architectural style: Moderne, PWA

Context 1:

Context:	Architecture and Engineering, 1850-1980
Sub context:	L.A. Modernism, 1919-1980
Theme:	Related Responses to Modernism, 1926-1970
Sub theme:	PWA Moderne, 1928-1945
Property type:	Commercial
Property sub type:	No Sub-Type
Criteria:	C/3/3
Status code:	3S;3CS;5S3
Reason:	Excellent example of PWA Moderne commercial architecture in Downtown Los Angeles.



Primary Address: 1246 S HOPE ST
 Other Address: 1248 S HOPE ST
 433 W PICO BLVD
 435 W PICO BLVD
 Name: Morrison Hotel
 Year built: 1914
 Architectural style: Commercial, Vernacular; Beaux Arts Classicism

Context 1:

Context:	Commercial Development, 1850-1980
Sub context:	No Sub-context
Theme:	Hotels, 1880-1980
Sub theme:	No SubTheme
Property type:	Commercial - Lodging
Property sub type:	Hotel
Criteria:	A/1/1 & C/3/3
Status code:	3CS;5S3
Reason:	Excellent example of a 1910s hotel in Downtown Los Angeles, exhibiting essential characteristics of the property type; reflects early patterns of commercial development in Los Angeles' central business district. The building was prominently featured on the cover of The Doors' 1970 album "Morrison Hotel." Due to alterations, including storefront modifications and some window infill, the building may not retain sufficient integrity for listing in the National Register.